



# Town of Mashpee

# Planning Board

16 Great Neck Road North  
Mashpee, Massachusetts 02649

**Meeting of the Mashpee Planning Board  
Wednesday, January 19, 2022  
Waquoit Meeting Room  
Mashpee Town Hall  
16 Great Neck Road North  
Mashpee, MA 02649  
7:00 PM**

**\*Hybrid In-person/Virtual/Remote Participation\***

**\*Broadcast Live on Local Channel 18\***

**\*Call in Conference Number: 508-539-1400 extension 8585\***

**\*Streamed Live on the Town of Mashpee Website: <https://www.mashpeema.gov/channel-18>\***

**Call Meeting to Order**

- Pledge of Allegiance

**Approval of Minutes**

- Review of Meeting Minutes from January 5, 2022

**Public Discussion**

**Approval Not Required**

**Applicant:** Garren C. Gould  
**Location:** 36 Sunset Strip, Mashpee, MA 02649 (Map 37 Block 72A)  
 21 Emma Oakley Mills Way, Mashpee, MA 02649 (Map 37 Block 211)  
**Request:** To divide a 28,400 s.f. parcel from 36 Sunset Strip (Map 37 Block 72A) to be conveyed to Robert and Rachel Mills and merged with 21 Emma Oakley Mills Way (Map 37 Block 211).

**Public Hearing – 7:10 PM - Continued from January 5, 2022**

**Applicant:** Lisciotti Development Corporation  
**Location:** 413 Nathan Ellis Highway (Map 72, Parcel 56A)  
**Request:** The applicant requests a special permit to construct a 4,000 s.f. commercial building for retail paint sales. This application is made pursuant to Sections 174-31 (N)(8), 174-25(E)(1), 174-24(C), 174-37, 174-82(1), 174-82(4), 174-41 (M), 174-31(N)(14) of the Mashpee Zoning Bylaw. The property is located in the C-2 Zoning District and partially within the Ground Water Protection Overlay District.

MASHPEE TOWN CLERK

JAN 14 2022

RECEIVED BY: \_\_\_\_\_



# Town of Mashpee

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## **New Business**

- Presentation regarding status of the Local Comprehensive Plan Update from consultant's Weston & Sampson – Caroline Wells, AICP and Ashley Sweet

## **Chairman's Report**

### **Town Planner Report**

- 108 Commercial Street Workforce Housing

### **Board Member Committee Reports**

- Cape Cod Commission, Community Preservation Committee, Design Review, Plan Review, Environmental Oversight Committee, Historic District Commission, Military Civilian Advisory Council.

### **Correspondence**

- Town of Falmouth Notices
- Town of Sandwich Notices
- Town of Barnstable Notices
- Waterways Application – 11 Taffrail Way
- Waterways Application – 33 Monomoscoy Road
- Waterways Application – 27 Sand Dollar Lane
- November 2021 Discharge Monitoring Report for South Cape Village – N=.71
- October 2021 Discharge Monitoring Report for South Cape Village – N=2.7
- September 2021 Discharge Monitoring Report for South Cape Village – N=3.3

### **Additional Topics (not reasonably anticipated by Chair)**

### **Adjournment**



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**Mashpee Planning Board  
Minutes of Meeting  
Wednesday, January 05, 2022 at 7:00PM  
Mashpee Town Hall - Waquoit Meeting Room  
16 Great Neck Road North  
Mashpee, Ma 02649**

**Broadcast Live on Local Channel 18**

**Call-in Conference Number: (508)-539-1400 x 8585**

**Streamed Live on the Town of Mashpee website <https://www.mashpeema.gov/channel -18>**

**Present:** Chairman John Fulone, Jack Phelan, Mary Waygan, Dennis Balzarini, Robert (Rob) Hansen

**Also Present:** Evan Lehrer – Town Planner, Catherine Laurent – Director of DPW, Ashley Lopes – Finance Director for Mashpee Schools, Kevin Kirrane – Dunning, Kirrane, McNichols & Garner, Chad Brubaker –Lisciotti Development, Casey Burch - Solli Engineering

**Virtual Participation:** Ed Pesce - Consulting Engineer

**Absent:** Joseph Callahan

## **CALL TO ORDER**

Chairman Fulone called the meeting of the Planning Board to order at 7:00P.M. The Pledge of Allegiance was recited. Happy New Year everyone!

## **APPROVAL OF MINUTES – December 01, 2021**

There were no comments regarding the meeting minutes.

## **MOTION:**

**Mr. Balzarini makes a motion to approve the meeting minutes for December 01, 2021 as written. Seconded by Ms. Waygan. All in favor.**

## **PUBLIC DISCUSSION**

**Catherine Laurent and Ashley Lopes** – They are here tonight to speak on behalf of the CPC application Ms. Laurent submitted for the stadium renovation project. The total project cost is \$2.79million dollars. The track has exceeded its usable life. It was built over 25 years ago when the school was built. Repair is not an option and reconstruction is necessary if the Town wants to maintain the use of the track. The existing grass fields are overused and cannot support continued use at this level. Maintenance requires significant time fertilizing, seeding, and watering. The grass fields are unusable at times, particularly during rain. Synthetic turf will allow more play, especially with the lights at the field. This will reduce play on other grass fields allowing reduction in fertilization and irrigation, which will be completely eradicated on the stadium field. The CPA funds requested are primarily for costs associated with replacement of the track. There are sufficient CPA funds available. Funding for the field is requested through the Capital Improvement Program. Utilizing existing CPA money in



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conjunction with the CIP funding, would avoid imposing an additional tax burden on property owners. A goal of the Town conservation and recreation plan is to meet the needs of residents and visitors of all ages for recreation opportunities. This project in particular, replacement of the track, will help meet this goal, all sectors will benefit, and have expressed support from students to seniors. The importance of providing a variety of outdoor recreational opportunities both active and passive has become more evident during the pandemic.

Mr. Balzarini asked if they could advertise around the field to raise money, or naming of the field.

Ms. Laurent is not sure the Town has ever contemplated this for any of the facilities and it isn't something she is prepared to answer at this time.

Mr. Hansen uses the field for walking on weekends because it is inaccessible during the school day. Is there a way to make it accessible during school hours with a time block or having the track gated off?

Ms. Lopes stated during school hours it is not to be used by the public. You can access before or after school as you will still have access to school grounds outside of the track so no, it will not be allowed.

Mr. Phelan asked if the goal was to continue the use of the open gate so the track can be used in the off hours.

Ms. Laurent stated that would remain unchanged. The synthetic turf will allow outside use which is currently not permitted aside from someone coming and kicking a ball around, but it would allow youth league and other groups to utilize the turf.

Ms. Waygan asked if Ms. Laurent provided the questions and answers, and can she speak to the one about PFAs.

Ms. Laurent inquired if everyone had a copy. This question came up during conversations with Gale Associates, the consultant working on the project. This question has come up in other projects. They reached out to manufacturers who have provided test results that show there are no PFAs in their particular project materials. We would have that as a condition of any bid, that any product used would not contain PFAs.

## **PUBLIC HEARING – 7:10PM**

**Applicant:** Longfellow Design Build  
**Location:** 9 Shellback Way / 647 Falmouth Road (Route 28)  
**Request:** The applicant requests a special permit to construct a 12,500 s.f. Commercial building to be used for retail grocery sales on a 4 acre +/- parcel. This application is made pursuant to Sections 174-24C (1) And under Section 174-25E (1) and 174-25 E (2). This proposal Triggers a mandatory referral to the Cape Cod Commission for Review as a Development of Regional Impact.



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Chairman Fulone noted because Joe Callahan is not present he will seat Rob Hansen for the Public Hearing.

Mr. Lehrer reminded the Board this is the same application that was submitted and withdrawn last year for a retail grocery store. It is a mandatory referral to the Commission as a DRI and he will need a motion to continue the Public Hearing and refer the project to the Cape Cod Commission for review. The Public Hearing will open again once the Commission takes action on the petition.

## **MOTION:**

**Ms. Waygan makes a motion to continue the Public Hearing and refer the project to the Cape Cod Commission as a DRI. Seconded by Mr. Balzarini. All in favor.**

## **PUBLIC HEARING – 7:20PM**

**Applicant:** Lisciotti Development Corporation  
**Location:** 413 Nathan Ellis Highway (Map 72, Parcel 56A)  
**Request:** The applicant requests a special permit to construct a 4,000 s.f. Commercial building for retail paint sales. This application is made pursuant to Sections 174-31 (N)(8), 174-25(E)(1), 174-24(C), 174-37, 174-82(1), 174-82(4), 174-41(M), 174-31(N)(14) of the Mashpee Zoning Bylaw. The property is located in the C-2 Zoning District and partially within Ground Water Protection Overlay District.

Attorney Kevin Kirrane is present tonight representing his son who is home in quarantine. He is pleased to be representing Lisciotti Development, who is proposing to construct this commercial building on the corner of Ninigret Ave. and Nathan Ellis Highway. Casey Burch from Solli Engineering and Chad Brubaker with Lisciotti Development are both present this evening.

This site has been the subject matter of a great deal of scrutiny over the years. About a year ago he represented a developer who was looking to add a Dollar Store to this site. The application was denied by Zoning Board of Appeals. The site is impacted by three roads, two of which you can see and one that is a paper road (Wampanoag Ave.) on Andy's Market side of this site. With all the setback criteria it made it difficult to come up with a development scheme that would work. Before the Board is a client and proposal that he believes meets bylaw requirements as well as a working scheme. Groundwater Protection District line transects this parcel. He has talked to gas stations looking to locate on this site but the overlay district couldn't be developed with petroleum. This is a 51,000 s.f. lot that has been undeveloped for 10 years, since Cherrystones Restaurant burnt down, and has remained in an undeveloped state overgrown with vegetation and unattractive in the Town. The building being proposed is 4,000 s.f. and is within jurisdiction of the Planning Board because a portion of the building is located in the Groundwater Protection District. Sections of the bylaw were mentioned, primary being 174-24(C) which is basic special permit criteria. Other sections relate to design of parking area and construction within the overlay district. Proposed height is consistent. One section relates to lot



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coverage and that bylaw grants the Planning Board the discretion to waive lot coverage criteria if a ground water system is designed to take care of runoff.

Ed Pesce did provide their engineering firm with a number of comments that have been addressed, hopefully to Mr. Pesce's satisfaction. The proposal has been reviewed by Site Plan Review and Design Review, and both recommend approval of the project. Parking requirement is 13 spaces, beside and behind. They are seeking relief from this bylaw to allow parking in the front and side. The engineer proposed parking due to a travel lane to get to the front door, this provides for safer egress and traffic flow. In addition, this site backs up to residential homes. We would like to accomplish keeping traffic and vehicles parked away from the residential zone. The Board has the authority to grant reliefs from certain requirements such as planting of trees in the parking area, as they won't be serving a useful purpose. Planting trees at the corner will introduce site issues. There are no wetlands on the site, and will bear no significant noise or vibration that would be created by this use. This property will be an asset to the Town in consideration to taxes as well as a viable business on a site that's been unproductive for 10 or more years. This building will have one tenant occupancy, Sherwin Williams. One question raised by Design Review was the recycling of paint. There will be no recycling of paint on site, everything is in containers. There are no drains proposed which will alleviate contaminants leaking into ground water supply.

Mr. Lehrer noted there are only four members of the Board present this evening, we can proceed with four as we need 4 out of 5 members, but the Chair can seat associate at his discretion.

Attorney Kirrane asked to have the associate member sit. He has always made a practice to never proceed with 4 members when he needs 4/5 vote.

Chairman will honor this request and is seating Robert Hansen.

Mr. Balzarini asked about handicap spaces. He thinks this is a good project and the current site is ugly. The building looks nice.

Mr. Kirrane stated there is one handicap accessible space to address statutory requirements. The front of the building is consistent with other development that has taken place in that area both in terms of setbacks from Rt. 151 and other treatments.

Mr. Hansen inquired about Wampanoag Avenue showing a bunch of lines. What improvements will this development do to this unconstructed roadway?

Attorney Kirrane noted there will be no changes to the paper road, it will exist as is. There is access to Rt. 151. A portion of that existing road is being used by Andy's Markey.

Mr. Hansen acknowledged most paints are water based which are less volatile, what percentage would be more volatile, non-water based? He is concerned for fire.



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Mr. Phelan had a discussion with Fire Chief and the quantities at this store do not trigger concern. Everything is compliant. They presented to Plan Review and he is satisfied. As for the turning radius for fire trucks, is that a drive over berm? He was told it is striped painting. He has no issues, he is satisfied.

Mr. Kirrane stated it had been recommended by DPW Director to incorporate Cape Cod berm.

Ms. Waygan sees some vegetation on site.

Mr. Burch described the basin's design with no water leaving it. There would have to be a catastrophic 100-year storm event for water to go over. Our design has proven it would never reach that point. There is a gradual soil that goes to a catch basin.

Ms. Waygan asked if the landscaping will be maintained as suggested. Lastly, the prevention of any paint leaving the building was discussed. Will you accept a condition of approval be that the building will be engineered to not have paint draining?

Mr. Brubaker acknowledged this came up at Plan review. There will be no recycling done on site. All paint will be containerized. Currently, MA does not have a paint recycling program. It doesn't mean they couldn't institute one. All the paint goes into a lined tote if going off site for recycling. There will be no floor drains to dump paint. They would be open to a condition, but from an engineering standpoint he doesn't know how he can ensure that.

Ms. Waygan noted maybe the Board engineer can add language for the final decision. If we could have a condition stating the building is going to be constructed and engineered in a way because it is partially in the Groundwater District.

Attorney Kirrane would phrase the condition to say "prevent paint from leaching into the ground". There is always a possibility someone could spill. We just want to make sure it doesn't go into the ground water.

Ms. Waygan referenced the letter dated November 12, 2021 going through all the different waivers. Before we vote on each waiver, she would like to walk through them.

Mr. Brubaker noted this was the letter from Solli engineering. Mr. Burch has a copy he can go through with the Board.

Mr. Burch went over the following articles:

- Article 7: Land Space – Satisfying setbacks and buffers, asking for a waiver to reduce from 50ft. to 42ft.
- Article 8: Parking – Parking in rear and sides, asking for waiver for parking in front and side to alleviate traffic for abutters while keeping safety conscious and consistent with other properties nearby.



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- Article 8: Parking Lot Design- Projects involving more than 10 spaces must have specific landscaping ratio, asking for waiver to minimize landscaping also safety conscious for line of site leading out to the busy intersection. Plan Review asked to have the landscaping beefed up on Ninigret Ave., which they have agreed to do. If you want to make a consistent recommendation, certainly there can be something indicated.
- Groundwater Protection District Special Permit Use - Storm water management designed impervious area 40.4%, asking for waiver to relieve the applicant from the rendering of greater than 15% of the lot with impervious surface. The basin is collecting 100% of water and nothing leaks on site. They propose a deep sump basin, water quality unit, and infiltration basin taking care of all runoff.

Mr. Hansen would like a description of the lighting on site in the parking lots, around the building, and what is visible from off premise.

Mr. Burch refers to sheet 2.71. He locates the two proposed light poles, the rest of the lighting are wall packs. The height satisfies the regulations as the poles are 22 ft. high, which is less than what is required, and they are all dark sky compliant.

Mr. Hansen noted the rear has loading and a dumpster area. Would it be advantageous to include additional lighting because there will be more activity than a normal retail going on?

Mr. Burch pointed to the overhead light above the door leading out to the dumpster. That dumpster area is getting bigger. Design Review asked for a second receptacle to provide two bins, one for recycling. The latest they are open is 6:00p.m. There will be no late night deliveries.

Mr. Fulone stated that minimizing light is good because it backs up to residential.

Ms. Waygan asked if that would change the site plans.

Mr. Kirrane noted they would need to make the dumpster pad larger and increase fencing surrounding but that would be the only changes.

Mr. Burch mentioned it stays within the hardscape and would not change the amount of impervious surface.

Ms. Waygan asked if there were any other revisions to the plans based on Site Plan Review.

Mr. Burch noted the plantings, the additional dumpster, and the Cape Cod berm at the entrance.

Mr. Balzarini asked if they have gone to Design Review for the sign. What about on the front where the windows are, are you going to advertise?





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Attorney Kirrane stated they had no problems with the sign, it meets the bylaw. The wall sign for the façade was approved.

Mr. Balzarini noted there have been problems with window signage for years in that area.

Ms. Waygan reiterated three changes from Site Plan and landscaping from Design Review.

Mr. Lehrer would prefer the updated sheets be submitted to the Board so they can be adequately referenced in the written decision. Before he provides a draft decision he would like to receive those.

Mr. Pesce wanted to say a few words. The Board has asked some great questions. He did a thorough review. They have responded and satisfactorily addressed all his original comments with the latest round of changes. There were minor changes being processed with the recent visits to Plan and Design Review, but they sound like reasonable requests. Supplementing landscaping alongside Ninigret should not provide issues. He sent an e-mail this afternoon to Mr. Lehrer that he has reviewed and all comments were addressed. He wanted to note one condition he is recommending for all storm water. He would like to have the applicant/owner to sign and date the implant and maintain its use as well as making sure there are funds set aside. He added a signature and date line on page 2 of the Maintenance Plan, and that plan be signed and resubmitted to the Board as a condition for pending approval, should the Board go in that direction. He is available for questions.

Mr. Lehrer would like to add the ONM operation maintenance plan be a requirement for all successors and future property owners of the site. The applicants have been extraordinary responsive in their ability to respond to Town comments. BOH requirement for subsurface infiltration in the retention basin amended on the site plan before the Board so it wouldn't even need to be conditioned upon. He is eager to see updated plans.

Mr. Brubaker noted the other condition Plan Review made was no vehicles should be parked inside the building.

Mr. Lehrer knows there will be fork lifts and pallet jacks to help move product around the site. A notation could be added as the door is only six feet wide.

Chair asked if there would be a vote this evening or if the Board is awaiting updated documents.

Mr. Lehrer would like to wait to vote to get the updated sheets and between now and the next meeting he will prepare a draft decision. He would like written decision to adequately reflect the full revisions requested by Plan and Design Review as well as comments made this evening. We received one written correspondence from an abutter. Her comments were identical to a similar concern she submitted to the Board of Appeals about traffic previously for this site. He just wanted to make sure the Board was aware it was in the packet.

Mr. Balzarini asked if they can vote on the waivers this evening.



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Ms. Waygan noted there needs to be Public Comment.

## **PUBLIC COMMENT**

There was not Public Comment at this time.

Mr. Lehrer said the waivers can be voted on this evening and it will help in the preparation of the decision.

Mr. Balzarini wants to pass them all, do we have to do them one at a time?

## **MOTION:**

**Ms. Waygan makes a motion to grant Waiver Request Number 1, reducing the 50 ft. wooded buffer area along Rt. 151 to a 42 ft. landscaped buffer. Seconded by Mr. Balzarini. All in favor. (§174-31 Land Space Requirements Table, Footnote #14)**

## **MOTION:**

**Ms. Waygan moves to approve Waiver Request Number 2, allowing parking for 6 spaces, one being ADA, in the front of the building facing Rt. 151. Seconded by Mr. Balzarini. All in favor. (§174-37 Location of Facilities)**

## **MOTION:**

**Ms. Waygan moves to approve Waiver Request Number 3, allowing the proposed parking lot "L" shaped design without any interior landscaping or natural area inside said parking lot. Seconded by Mr. Balzarini. All in favor. (§174-41.M Parking Lot Design)**

Ms. Waygan noted Mr. Lehrer will site the section of the Bylaw that is being waived.

## **MOTION:**

**Mr. Phelan makes a motion to approve Waiver Request Number 4 Groundwater Protection, allowing the 20,500 s.f. of impervious surfaces for 40.4% of the total lot, which is greater than the 15%. Seconded by Ms. Waygan. All in favor. (§174-84(4) Special Permit uses)**

Mr. Lehrer suggested as long as the applicant was available, they could appear before the Board on January 19, 2022. In that time he would provide Attorney Kirrane with a draft decision for review and he would request the engineering firm provide updated plans with the motions provided this evening.

## **MOTION:**

**Mr. Balzarini makes a motion to continue the Public Hearing for January 19, 2022 at 7:10p.m. Ms. Waygan seconded. All in favor.**



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## **NEW BUSINESS**

**Pre application conference with Cellco Partnership d/b/a Verizon Wireless regarding a proposed personal wireless services facility at 524 Great Neck Road North (pursuant to 174-45.3 (i)(1) of the Mashpee Zoning Bylaw to discuss the proposed personal wireless service facility in general terms and to clarify the filing requirements.**

Mr. Lehrer did receive a request to present a proposal for a new wireless facility at 534 Great Neck Road North. He then received correspondence that the request was premature so applicant is not here this evening. There will be no pre-application conference tonight as requested. He has indicated an intent to approach the Board at an appropriate time in the near future relative to the wireless facility.

## **Endorse Willow Circle Definitive Subdivision Plan**

Mr. Lehrer stated the appeal period ended on the 1/3/2022. We are prepared to sign this evening. Plans have been approved it just needs endorsing.

Plan was signed by Mr. Fulone, Ms. Waygan, Mr. Phelan, and Mr. Balzarini.

Mr. Callahan will sign at a later date.

## **Sign Willowbend Willow Circle Special Permit Modification Decision.**

Mr. Lehrer stated the appeal period ended on the 1/3/2022. He sent a draft prior to Christmas. It was filed with the Clerk to meet deadlines, it is included in the packet, consideration has not been made as of yet.

Mr. Phelan inquired about the vacant building.

Mr. Lehrer stated the ball is in motion, they need to identify a place to put it and we need to consider some affordable partners. It is memorialized in the special permit decision.

Ms. Waygan asked why did we say there was a 10ft. landscape buffer?

Mr. Lehrer stated this was memorialized for the benefit of the abutters.

Special Permit Modification was signed by Ms. Waygan, Mr. Phelan, Mr. Fulone, and Mr. Balzarini.

Mr. Callahan will sign at a later date.

## **TOWN PLANNER REPORT**

### **LCP Update**

There has been less progress since last meeting. He had jury duty and was seated on the jury. He missed the mid-December biweekly update. There was a meeting this past week with CCC to go over general framework for community engagement. He will be going over with the full Board at the next meeting. It is likely we will be going virtual again after this week, so he was hoping to be in person with the consultants. That is out of his power, hopefully we can make the best of that conversation and there



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is a lot to be updated on. The website should be decided and ready to launch to support a hybrid model of engagement. He wants to have a plan B and C in place if things go back to where they were early in the Pandemic. The big agenda item will be having the consultants available next meeting. He would like to present what was discussed with the Commission in more detail along with the consultant. The CCC was satisfied with the approach and he is confident in their ability. It's a slow start but there is going to be more activity beginning soon.

## BOARD MEMBER COMMITTEE REPORTS

### Cape Cod Commission –

Ms. Waygan wanted to reference the newspaper article submitted from the Chair.

Mr. Lehrer is going to forward Public Hearing information for the Cape Cod Commission for South Cape Village DRI. Meeting tomorrow 1/6/22. The CPC heard the applicants in December and didn't vote on the 8 applications. She is looking for comments particularly regarding the track. She wants to know if people are supportive.

### Community Preservation Committee-

Mr. Balzarini is in support.

Mr. Phelan notes this meets requirements for CPC funds and open space for the Town for recreation and public use.

Mr. Fulone is in support of the track.

Ms. Waygan asked the Housing Authority about the window quality at Breezy Way, if they failed. The roof was easy to see the wood rot, but she wants an expert to check for leaking air or water in windows. That was the only technical question she had.

### Design Review-

Mr. Callahan is not here, Sherwin Williams paint store sign was reviewed. The requested conditions were landscaping around Ninigret Ave.

### Plan Review-

Sherwin Williams paint store. Ensure all updated sheets submitted are consistent with recommendations.

### Environmental Oversight Committee-

No Meeting

### Historic District Commission-

No Meeting

### Military Civilian Advisory Council-

No Meeting

## ADJOURNMENT

### MOTION:

**Mr. Balzarini makes a motion to adjourn the meeting at 8:09p.m. Seconded by Mr. Phelan. All in favor.**

The meeting ended at 8:09p.m.

**Next Meeting:** January 19, 2022 at 7:00P.M. – Hybrid Virtual/In-Person Participation



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Respectfully Submitted,

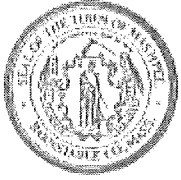
Christine M. MacDonald  
Board Secretary

DRAFT

## **LIST OF DOCUMENTS**

*Additional documents may be available in the Planning Department.*

- Town of Falmouth Notices
- Town of Sandwich Notices
- Town of Barnstable Notices
- Brown Rudnick Correspondence – Re: Proposed Project at 36 Wequaquet Lane, Centerville
- Waterways Application – Alex Peselman – 27 Sand Dollar Lane
- November 2021 Discharge Monitoring Report for South Cape Village – N=.71
- October 2021 Discharge Monitoring Report for South Cape Village – N= 2.7
- September 2021 Discharge Monitoring Report for South Cape Village – N=3.3



**FORM A**

**APPLICATION FOR ENDORSEMENT OF PLAN BELIEVED NOT TO REQUIRE APPROVAL**

Date: 11/13/22

To the Planning Board: The undersigned, believing that the accompanying plan of his or her property in the Town of Mashpee does not constitute a subdivision within the meaning of the Subdivision Control law, herewith submits said plan for a determination and endorsement that Planning board approval under the Subdivision Control Law is not required.

Name of Applicant GAVRAN C. GOULD Phone 774 208 7722

Address 36 Sunset Strip, Mashpee, MA 02649

Owner, if different \_\_\_\_\_ Phone \_\_\_\_\_

Address \_\_\_\_\_

Attach copies of (a) most recent recorded deed and (b) tax bill or Assessors' certification.

Engineer or Surveyor John Doyle PLS Phone 508 563 1994

Address 170 Cloverfield Way E. Falmouth, MA 02536

Deed of property recorded in Barnstable County Registry Book 30506 Page 256

Or Land Court Certificate of Title No. \_\_\_\_\_

Location and description of property

36 Sunset Strip. Single Family Home on 111,714 sq ft.  
Applicant is selling 28,400 sq ft. of vacant land to abutter  
for privacy

Mashpee Assessors map(s) and Block(s) 37 / 72A

Signature of Owner or Authorized Representative [Signature]

*Attach written authorization signed by owner.*



**FORM N**

**NOTICE OF APPLICATION FILING WITH THE MASHPEE PLANNING BOARD**

To the Mashpee Town Clerk:

This is to notify you that on January 13, 2022 an application for  
 endorsement of a plan believed not to require approval

approval of preliminary plan

approval of definitive plan

was submitted to the Mashpee Planning Board at its public meeting by

Barren C. Gould, 36 Sunset Strip, Mashpee, MA  
Applicant name Applicant address 02649

The land to which the application relates appears on the current Mashpee Assessors Maps  
as 37/72A

and is generally described as located

36 Sunset Strip, Mashpee, MA 02649

This notice must be submitted to the Town Clerk by delivery or by registered or certified mail, postage prepaid, along with a copy of the application and submitted plans.

Received by Planning Board on \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
for Mashpee Planning Board

Bk 30566 Pg 256 #30039  
06-16-2017 @ 02:58p

MASSACHUSETTS STATE EXCISE TAX  
BARNSTABLE COUNTY REGISTRY OF DEEDS  
Date: 06-16-2017 @ 02:58pm  
Ct1#: 1489 Doc#: 30039  
Fee: \$1,111.50 Cons: \$325,000.00

BARNSTABLE COUNTY EXCISE TAX  
BARNSTABLE COUNTY REGISTRY OF DEEDS  
Date: 06-16-2017 @ 02:58pm  
Ct1#: 1489 Doc#: 30039  
Fee: \$994.50 Cons: \$325,000.00

### QUITCLAIM DEED

I, GUADALUPE C. SENTEIO, of 26 MacKenzie Road, South Yarmouth, MA 02664, in consideration of the payment of Three Hundred Twenty-Five Thousand Dollars (\$325,000.00), the receipt of which is hereby acknowledged, hereby Grant, with Quitclaim Covenants, to GARRAN C. GOULD, of P.O. Box 265, Cotuit, MA 02635, the premises at 36 Sunset Strip, Mashpee, MA, which premises are bound and described as follows:

A certain parcel of land, together with any buildings thereon, located in Mashpee (East), Barnstable County, Massachusetts, more particularly bounded and described as follows:

- NORTHEASTERLY by land now or formerly of Robert W. Bright et ux, there measuring 151.653 feet;
- EASTERLY by land now or formerly of Emma O. Mills, there measuring 295 feet;
- NORTHEASTERLY by said land of Mills, there measuring 128 feet;
- EASTERLY by land now or formerly of Ada Jones, there measuring 270.86 feet;
- SOUTHERLY by land now or formerly of said Robert W. Bright et ux, there measuring 236.001 feet; and
- NORTHWESTERLY by Sunset Strip, a private way, there measuring 590 feet, and contains 2.5 acres more or less.

Said parcel is shown on a plan duly recorded in Barnstable County Registry of Deeds Plan Book 239, Page 133.

Being the premises conveyed to me by deed recorded in the Barnstable County Registry of Deeds in Book 1482 on Page 632. The Grantor is the

36 Sunset Strip, Mashpee 02649



sole surviving Tenant By The Entirety; see Death Certificate of Roman W. Senteio to be recorded hereto.

The Grantor hereby certifies that she is an unmarried person, and that the premises is not her principal residence.

Signed under the pains and penalties of perjury, this 16 day of JUNE, 2017.

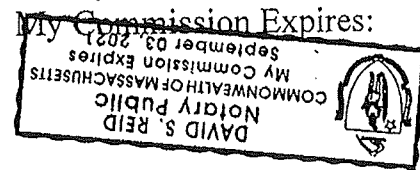
*Guadalupe Senteio*  
Gaudalupe C. Senteio, by  
Jorge J. Colina, a/k/a  
George Colina, her  
Attorney in Fact

COMMONWEALTH OF MASSACHUSETTS

Barnstable, ss

Then personally appeared before me the above-named Jorge J. Colina, a/k/a George Colina, as attorney in fact for Guadalupe C. Senteio, whose identity was proved to me by competent evidence, to wit: KNOWN TO ME, and acknowledged that he signed the foregoing as his free act and deed on behalf of Guadalupe C. Senteio.

*David S. Reid*  
Notary Public



**Attorney's Affidavit**

I, Jorge J. Colina, a/k/a George Colina, of 13 MacKenzie Road, South Yarmouth, MA, hereby certify that I am the attorney-in-fact named in a certain Durable Power of Attorney executed March 6, 2017, a copy of which is attached hereto, by Guadalupe Senteio, and to the best of my knowledge, at the time of execution of all documents this date, in connection with the sale of property at 36 Sunset Strip, Mashpee, MA, Guadalupe Senteio is still alive and the Power of Attorney is in full force and effect and has not been amended or revoked.

Signed under the penalties of perjury this 16 day of JUNE, 2017

Jorge Colina

Commonwealth of Massachusetts

Barnstable, ss.

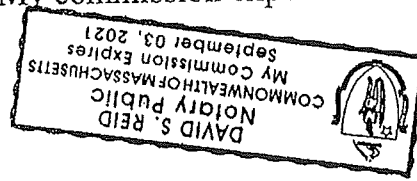
6-16 2017

Then personally appeared the above named Jorge J. Colina, a/k/a George Colina, whose identity was proved to me by satisfactory identification, to wit: known to ME, and acknowledged to me that the foregoing was true, to the best of his personal knowledge, information and belief.

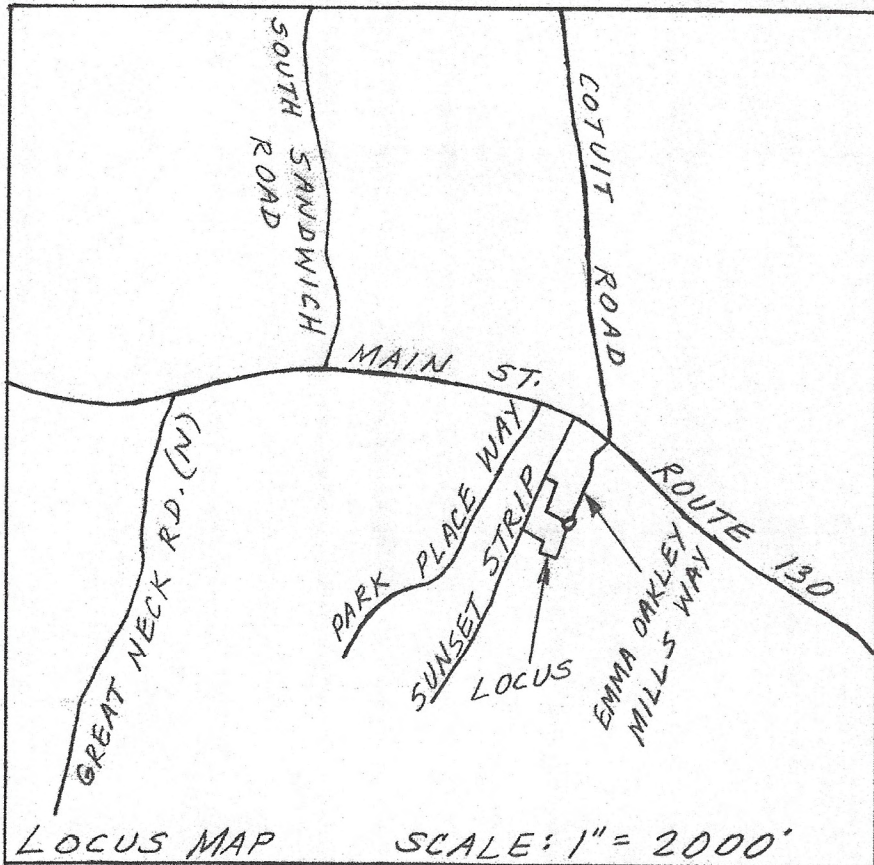
David S. Reid

Notary Public

My commission expires:



BARNSTABLE REGISTRY OF DEEDS  
John F. Meade, Register



I HEREBY CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

PROFESSIONAL LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

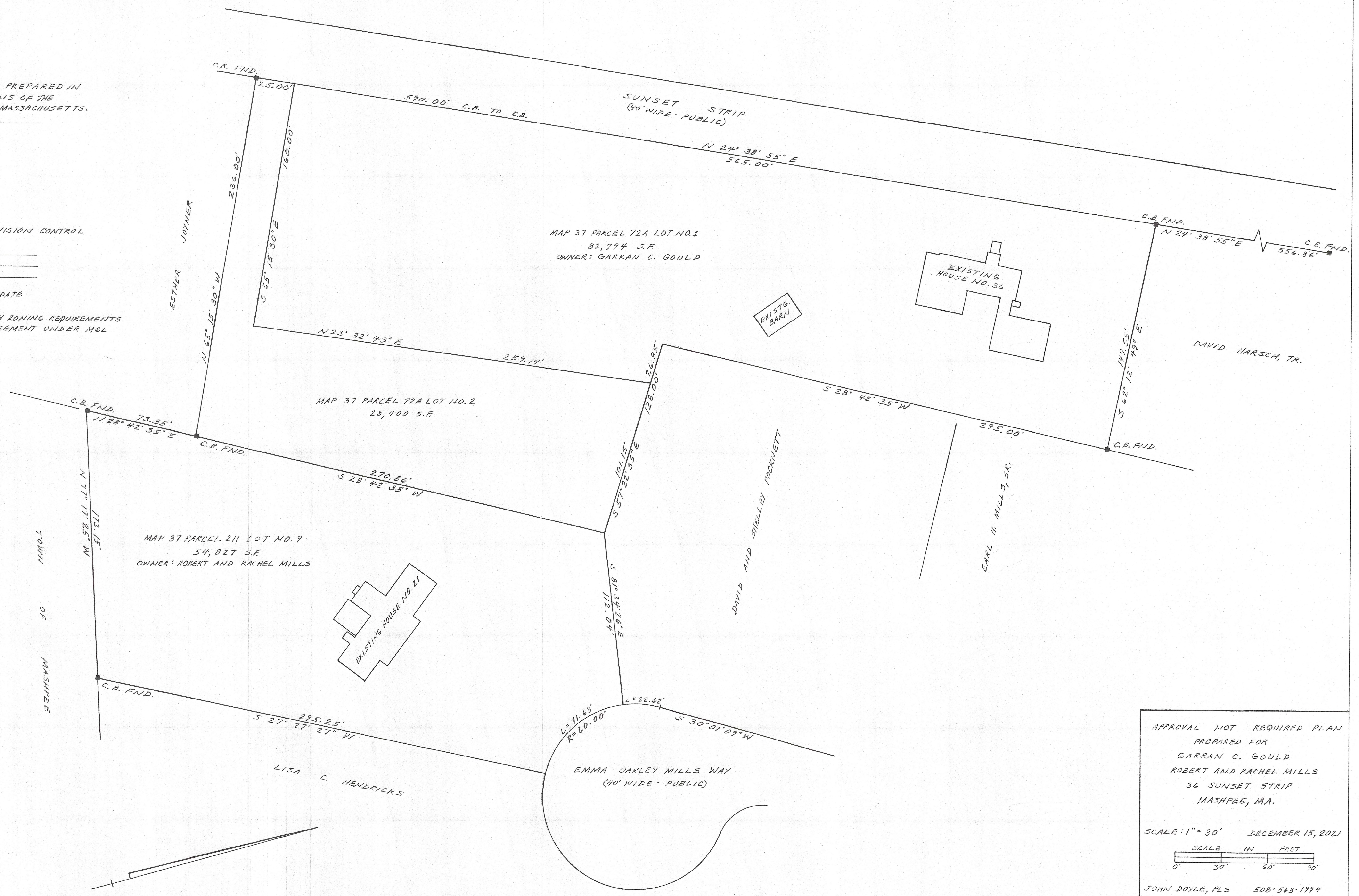
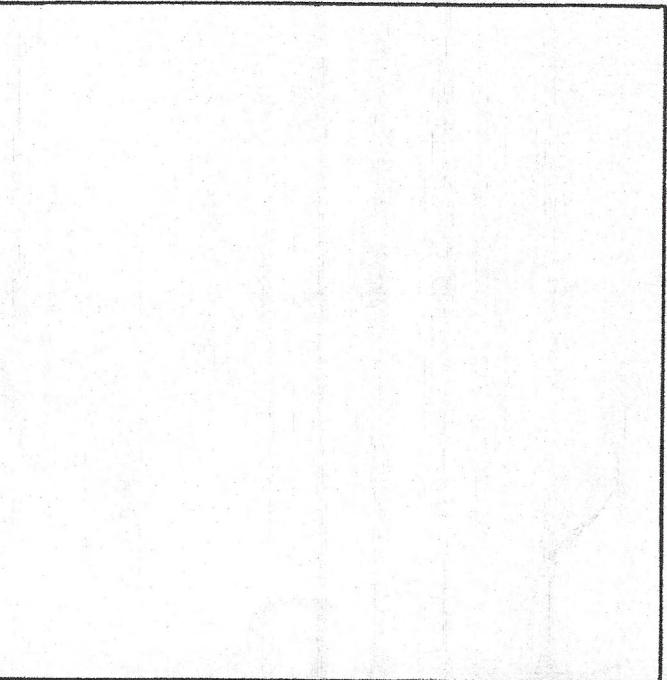
ZONING DISTRICT: R-5  
 DEED REFERENCE BOOK 30544 PAGE 256.  
 PLAN REFERENCE BOOK 239 PAGE 133.  
 CERT. OF TITLE NO. 210623  
 LAND COURT PLAN NO. 34421-B SHEET 2.

"PLANNING BOARD APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED."

MASHPEE PLANNING BOARD \_\_\_\_\_ DATE \_\_\_\_\_

NOTE: NO DETERMINATION AS TO COMPLIANCE WITH ZONING REQUIREMENTS HAS BEEN MADE OR INTENDED BY THIS ENDORSEMENT UNDER MGL CHAPTER 41, SECTION 81L.

REGISTRY USE ONLY



APPROVAL NOT REQUIRED PLAN  
 PREPARED FOR  
 GARRAN C. GOULD  
 ROBERT AND RACHEL MILLS  
 36 SUNSET STRIP  
 MASHPEE, MA.

SCALE: 1" = 30' DECEMBER 15, 2021

JOHN DOYLE, PLS 508-563-1994  
 170 CLOVERFIELD WAY  
 E. PALMOUTH, MA. 02536



January 10, 2022

Mashpee Planning Board  
Attn: Mr. Evan Lehrer, Town Planner  
Mashpee Town Hall  
16 Great Neck Road North  
Mashpee, MA 02649

**RE: Response to Design / Plan Review Committees & Planning Board  
Proposed Sherwin-Williams Paint Store  
413 Nathan Ellis Highway (Rt. 151)  
Mashpee, Massachusetts 02649**

Dear Mr. Lehrer & Members of the Planning Board,

On behalf of the Applicant, Mashpee SW LLC, Solli Engineering (Solli) is pleased to submit revised plans and a list of modifications that have occurred in response to comments received during the Design Review Committee meeting, the Plan Review Committee meeting and the Planning Board hearing on January 5<sup>th</sup>, 2022, for the above referenced project.

- Site Layout Plan – Sheet 2.11
  - As requested by the DPW Director, Cape Cod Berm has been implemented into the design, replacing concrete curbing, along the site driveway and exterior of the drive aisles.
  - As requested during the Design / Plan Review Committee meetings, the dumpster enclosure has been expanded to the width suitable for both a trash and recycling receptacle.
- Grading, Drainage & Utility Plan – Sheet 2.21
  - As discussed during the Planning Board hearing, the grass swale has been regraded to create less of a depression.
- Landscape Plan – Sheet 2.61
  - As requested during the Design / Plan Review Committee meetings, additional plantings have been added along the Ninigret Avenue frontage to create a vegetated screening between Ninigret Avenue and the Site.
  - Additional plantings have been added to provide screening due to the enlarged dumpster enclosure.
- Construction Details – Sheet 3.01
  - A Cape Cod Berm detail has been added.
- Construction Details – Sheet 3.02
  - The Dumpster Enclosure detail has been revised per the modifications to the plan.

Please review the responses provided as well as the enclosed material. If you have any additional comments or questions, please provide them at your earliest convenience.

Respectfully,

Solli Engineering, LLC

Sam T. Malafronte  
Sr. Project Engineer

Solli Engineering, LLC

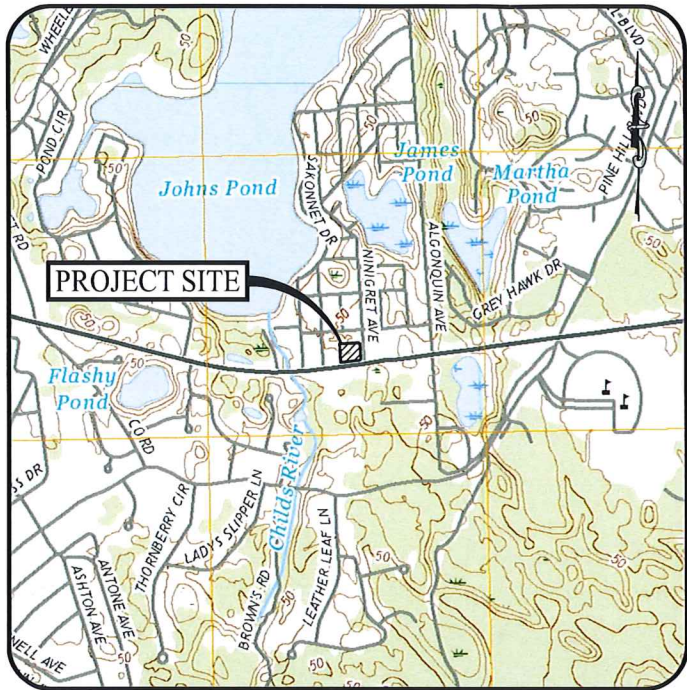
Casey J. Burch  
Project Manager

Enclosures:

- Sherwin-Williams – Mashpee, MA – Permitting Plan Set (Dated: 01/10/22 Planning Board Comments)

501 Main Street, Suite 2A  
Monroe, CT 06468  
Office: (203) 880-5455

11 Vanderbilt Avenue, Suite 240  
Norwood, MA 02062  
Office: (781) 352-8491



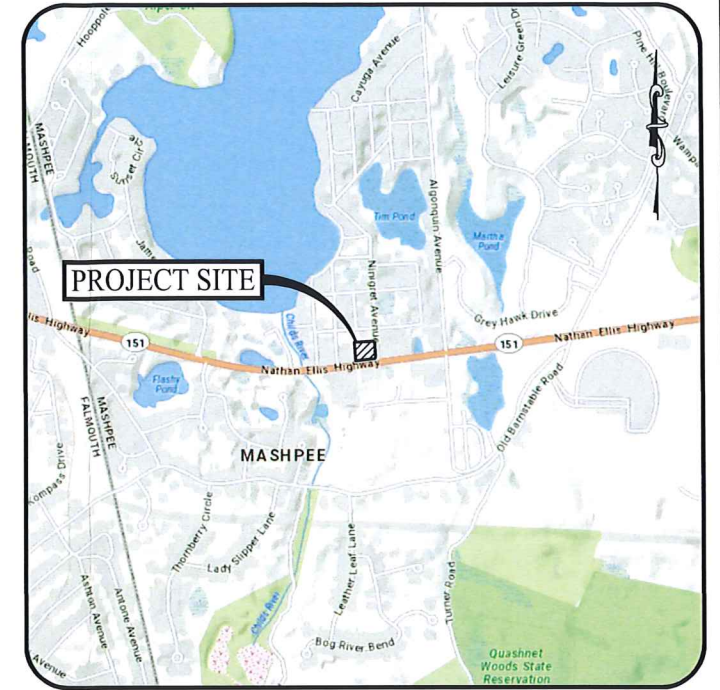
USGS MAP

SCALE: 1" = 1,000'



# PROPOSED SHERWIN-WILLIAMS®

413 NATHAN ELLIS HIGHWAY  
MASHPEE, MASSACHUSETTS



LOCATION MAP

SCALE: 1" = 1,000'

PREPARED FOR:

## MASHPEE SW LLC C/O LISCIOTTI DEVELOPMENT

83 ORCHARD HILL PARK DRIVE  
LEOMINSTER, MASSACHUSETTS 01453

PREPARED BY:



11 VANDERBILT AVENUE, SUITE 240  
NORWOOD, MASSACHUSETTS 02062

**APPLICANT**

MASHPEE SW LLC  
C/O LISCIOTTI DEVELOPMENT  
83 ORCHARD HILL PARK DRIVE  
LEOMINSTER MASSACHUSETTS 01453  
(978) 860-1065

**PROPERTY INFORMATION**

413 NATHAN ELLIS HIGHWAY  
MASHPEE, MASSACHUSETTS 02649  
PARCEL ID: 72-56A-0  
TOTAL LOT AREA: 1.166 ACRES  
ZONING: C-2 COMMERCIAL ZONING DISTRICT

**PROPERTY OWNER**

LEBEWOHL, SIDNEY W TR  
ROBERT A LEBEWOHL FAM TR 1980  
14 CHERRY OCA LANE  
FRAMINGHAM, MASSACHUSETTS 01701

**LEGAL REPRESENTATION**

CHRISTOPHER J KIRKANE, ESQ  
DUNNING, KIRKANE, MCNICHOLS, AND GARNER, LLP  
PO BOX 560  
133 FALMOUTH ROAD  
MASHPEE, MASSACHUSETTS 02649  
(508) 477-6500

**SITE/CIVIL ENGINEER**

KEVIN SOLLI, P.E., CPESC, LEED AP BD+C  
LICENSE NO. 51952  
SOLLI ENGINEERING, LLC  
11 VANDERBILT AVENUE, SUITE 240  
NORWOOD, MASSACHUSETTS 02062  
(781) 352-8491

**CERTIFIED SOIL EVALUATOR**

CASEY J BURCH  
LICENSE NO. 14469  
SOLLI ENGINEERING, LLC  
11 VANDERBILT AVENUE, SUITE 240  
NORWOOD, MASSACHUSETTS 02062  
(781) 352-8491

**SURVEYOR OF RECORD**

BRIAN C. FRANEVICH, PLS  
LICENSE NO. 54258  
NORTHEAST SURVEY CONSULTANTS  
116 PLEASANT STREET, SUITE 302  
EASTHAMPTON, MA 01027  
(413) 203-5144

**GEOTECHNICAL ENGINEER**

RYAN R. ROY, P.E.  
WHITESTONE ASSOCIATES INC.  
352 TURNPIKE ROAD, SUITE 320  
SOUTHBOROUGH, MASSACHUSETTS 01772  
(508) 485-0755

**ARCHITECT**

BKA ARCHITECTS  
BOSTON - BROCKTON  
142 CRESCENT STREET  
BROCKTON, MA 02302  
(508) 583-5663

**APPROVED WAIVERS**

(ALL REQUESTED WAIVERS WERE APPROVED UNANIMOUSLY AT THE MASHPEE PLANNING BOARD HEARING ON JANUARY 5TH, 2022)

**ARTICLE VII - LAND SPACE REQUIREMENTS - §174-31 LAND SPACE REQUIREMENTS TABLE, FOOTNOTE #14**

"NO BUILDING MAY BE LOCATED WITHIN 75 FEET OF ROUTES 28 AND 151, GREAT NECK ROAD SOUTH AND NORTH OR ROUTE 130 WEST OF GREAT NECK ROAD (EXCEPT WITHIN THE MASHPEE CENTER OVERLAY DISTRICT) AND, EXCEPT FOR PERMITTED SIGNS AND ONE (1) ACCESS DRIVEWAY INVOLVING CLEARANCE OF A PATH NO MORE THAN FORTY (40) FEET IN WIDTH, ANY LAND WITHIN FIFTY (50) FEET OF SAID ROADS SHALL BE LEFT AS A WOODED BUFFER AREA IN ITS NATURAL STATE, EXCEPT THAT SAID AREA MAY BE REDUCED BY THE PLANNING BOARD AS PART OF ITS DECISION ON A SPECIAL PERMIT APPROVED UNDER §174-45, §174-45.1 OR §174-46 WHERE SUCH AREA IS NOT NATURALLY WOODED. IT SHALL BE SUITABLY PLANTED WITH SUFFICIENT TREES AND UNDER STORY VEGETATION, OF A TYPE COMMON IN NATURAL AREAS OF MASHPEE, TO REPLICATE A NATURALLY WOODED AREA AND TO CONSTITUTE A VISUAL BARRIER BETWEEN THE PROPOSED DEVELOPMENT AND THE ROADWAY."

**ARTICLE VIII - PARKING FACILITIES - §174-37 LOCATION OF FACILITIES**

"REQUIRED PARKING FACILITIES SHALL BE PROVIDED ON THE SAME LOT OR PARCEL AS THE PRINCIPAL USE THEY ARE DESIGNED TO SERVE, UNLESS OTHERWISE PERMITTED BY A SPECIAL PERMIT ISSUED BY THE PLANNING BOARD. PARKING FACILITIES SHALL BE LOCATED TO THE SIDE OR REAR OF THE PRINCIPAL STRUCTURE(S) ON A LOT OR PARCEL, UNLESS THE PERMITTING AUTHORITY DETERMINES THAT AN ALTERNATIVE LOCATION WILL IMPROVE THE PROJECT AESTHETICALLY, SUBSTANTIALLY REDUCE IMPACTS ON NATURAL OR HISTORIC RESOURCES OR IMPROVE PUBLIC SAFETY."

**ARTICLE VIII - PARKING FACILITIES - §174-41.M PARKING LOT DESIGN**

"FOR PROJECTS INVOLVING MORE THAN TEN (10) PARKING SPACES, ANY PARKING AREA (I.E. THE AREA WITHIN ANY PROPOSED PARKING FIELD) SHALL HAVE A MINIMUM RATIO OF 1:5 OF LANDSCAPING OR NATURAL AREA TO PAVED AREA UNLESS THE PERMITTING AUTHORITY DETERMINES THAT, DUE TO THE SHAPE OR CONFIGURATION OF THE PARKING AREA SUCH LANDSCAPING WOULD BE IMPRACTICAL. NATURAL VEGETATION SHALL BE RETAINED IN ANY SUCH LANDSCAPED AREA TO THE GREATEST EXTENT POSSIBLE."

**ARTICLE XIII - GROUNDWATER PROTECTION DISTRICT - §174-82 (4) SPECIAL PERMIT USES**

"THE RENDERING IMPERVIOUS OF GREATER THAN FIFTEEN PERCENT (15%) OR TWO THOUSAND FIVE HUNDRED (2,500) SQUARE FEET OF ANY LOT, WHICHEVER IS GREATER, PROVIDED THAT A SYSTEM OF STORMWATER MANAGEMENT AND ARTIFICIAL RECHARGE OF PRECIPITATION IS DEVELOPED WHICH IS DESIGNED TO: PREVENT UNTREATED DISCHARGES TO WETLANDS AND SURFACE WATERS, PRESERVE HYDROLOGIC CONDITIONS THAT CLOSELY RESEMBLE PRE-DEVELOPMENT CONDITIONS, REDUCE OR PREVENT FLOODING BY MANAGING THE PEAK DISCHARGES AND VOLUMES OF RUNOFF, MINIMIZE EROSION AND SEDIMENTATION, NOT RESULT IN SIGNIFICANT DEGRADATION OF GROUNDWATER, REDUCE SUSPENDED SOLIDS AND OTHER POLLUTANTS TO IMPROVE WATER QUALITY AND PROVIDE INCREASED PROTECTION OF SENSITIVE NATURAL RESOURCES."

**DRAWING LIST**

CIVIL DRAWINGS			
SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
0.00	COVER SHEET	11/01/21	01/10/22
-	ALTA/NSPS LAND TITLE SURVEY	10/08/21	N/A
1.40	300' RADIUS MAP	11/01/21	12/01/21
2.11	SIT/ LAYOUT PLAN	11/01/21	01/10/22
2.21	GRADING, DRAINAGE & UTILITY PLAN	11/01/21	01/10/22
2.31	SOIL EROSION & SEDIMENT CONTROL PLAN	11/01/21	12/28/21
2.41	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	11/01/21	N/A
2.61	LANDSCAPE PLAN	11/01/21	01/10/22
2.71	LIGHTING PLAN	11/01/21	N/A
3.01	CONSTRUCTION DETAILS	11/01/21	01/10/22
3.02	CONSTRUCTION DETAILS	11/01/21	01/10/22
3.03	CONSTRUCTION DETAILS	11/01/21	N/A
3.04	CONSTRUCTION DETAILS	11/01/21	12/28/21
ARCHITECTURAL DRAWINGS			
SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
-	FLOOR PLAN	10/21/21	N/A
-	BUILDING ELEVATIONS	10/21/21	N/A

Rev. #:	Date	Description
4	01/10/22	Planning Board Comments
3	12/28/21	Peer Review Response to Comments
2	12/17/21	BOH Response to Comments
1	12/01/21	Plan / Design Review Committee

Project:

**PROPOSED  
SHERWIN-WILLIAMS**  
413 NATHAN ELLIS HIGHWAY,  
MASHPEE, MA

Sheet Title: **COVER SHEET** Sheet #: **0.00**

ZONE:R3  
ZONE:C2

72-53  
N/F  
JOANNE PETERS  
L.C. CERT 216181  
L.C. PLAN 11380F

72-56  
N/F  
MASHPEE 151 PROPERTIES LLC  
L.C. CERT 20980B  
L.C. PLAN 11380T

72-56A  
N/F  
ROBERT A. LEBEWOHL  
FAMILY TRUST OF 1980  
L.C. CERT 212129  
L.C. PLAN 11380N  
AREA = 1.166 AC. ±

**ZONING INFORMATION:**  
ZONE: C2  
DIMENSIONAL REQUIREMENTS:  
MINIMUM AREA: 40,000 S.F.  
MINIMUM FRONTAGE: 200'  
FRONT SETBACK: 75'  
SIDE SETBACK: 20'  
REAR SETBACK: 20'  
MAX. HEIGHT: 35'

**LEGEND:**

---	LOCUS PROPERTY LINE	---	▲	SIGN POST
---	ABUTTERS LINE (±)	○	○	TREE
---	EASEMENT LINE	→	→	GUY POLE
---	BUILDING SETBACK LINE	⊥	⊥	UTILITY POLE
---	ZONING LINE	+	+	GUY WIRE ANCHOR
---	BURIED UTILITY LINE	⊠	⊠	CATCH BASIN
---	CONTOUR LINE	⊙	⊙	MANHOLE
---	OVERHEAD WIRES	⊕	⊕	GAS GATE VALVE
---	STOCKADE FENCE	⊖	⊖	WELL
---	GUARD RAIL	⊞	⊞	IRRIGATION CONTROL
---	TREELINE			

CONC. CONCRETE  
BIT. BITUMINOUS CONCRETE  
C/T TELECOMMUNICATIONS  
D DRAIN  
E ELECTRIC  
G GAS  
S SEWER  
W WATER  
▲ CALCULATED POINT  
△ MAG. NAIL FOUND  
CBF CONC. BOUND FOUND

▲ SIGN POST  
○ TREE  
→ GUY POLE  
⊥ UTILITY POLE  
+ GUY WIRE ANCHOR  
⊠ CATCH BASIN  
⊙ MANHOLE  
⊕ GAS GATE VALVE  
⊖ WELL  
⊞ IRRIGATION CONTROL

**SURVEY NOTES:**

- 1: Gross land area of locus parcel = 1.166 acres ±.
- 2: Field survey by RTK GPS.
- 3: The horizontal datum of this plan is NAD83, Massachusetts Mainland coordinate system, the vertical datum is NAVD88, both were derived from an RTK GPS survey performed on site.
- 4: The locus parcel is located in flood zone "X" (areas of minimal flooding, no shading) as shown on flood insurance rate map community panel number 25001C 0732 J, dated 7/16/2014.
- 5: This plan was prepared without the benefit of a zoning report; all zoning information given hereon is taken from the Town of Mashpee's website. The locus parcel is located in the "C2" zoning district. A portion of the locus lies within the "Ground Water Protection District". A portion of the locus lies within the "Wireless Facility Overlay District". All of the land shown is also located in "Zone II".
- 6: The location of utility structures shown hereon are from observed field evidence and record information. This plan may not depict the exact location of underground utilities and may not show all of the utilities which exist within the premises surveyed. Please contact dig-safe at 1-888-344-7233 before excavation.
- 7: At the time of the ALTA survey there was no observable evidence of active earth moving work. At the time of the ALTA survey there was no observable evidence of street or sidewalk repairs or construction; no proposed changes to street right of way lines were found or provided to the surveyor.
- 8: No wetland delineations were observed or provided to the surveyor.
- 9: No clearly identifiable parking spaces were observed.

**RECORD DESCRIPTION: (FROM TITLE COMMITMENT)**

The land in Mashpee, Barnstable County, Massachusetts, more particularly shown as Lot 2161 on Land Court Plan No. 11380-N, which is dated October 12, 1987. So much of the above parcel as is included within the limits of the streets and ways shown upon said plan is subject to the rights of all persons lawfully entitled thereto.

**SCHEDULE B EXCEPTIONS:**

- From Commitment for Title Insurance by Fidelity National Title Insurance Company, policy number 21-0201KC-FN, dated 7/23/2021:
1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part 1 - Requirements are met. (not a survey matter)
  2. Rights or claims of parties in possession. (not a survey matter)
  3. Notwithstanding coverage provisions to the contrary contained herein any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land. The term "encroachment" includes encroachments of existing improvements located on the Land onto adjoining land, and encroachments onto the Land of existing improvements located on adjoining land. (see Significant Observations for any such matters found by this survey)
  4. Any lien, or right to a lien, for services, labor or materials heretofore or hereafter furnished, imposed by law and not shown by the Public Records. (not a survey matter)
  5. Such matters as would be disclosed by a current certificate of municipal liens. (not a survey matter)
  6. The quantity of acreage, square footage or area of the Land. (see survey note #1)
  7. Taking by the County Commissioners for the County of Barnstable, for the widening, straightening, relocating or locating a new Nathan Ellis Highway, filed as Document No. 13162, as affected by a Certificate of Entry, filed as Document No. 21508. (the sidelines of Nathan Ellis Highway are shown hereon per said taking)

**SIGNIFICANT OBSERVATIONS:**

None found.

**CERTIFICATION:**

To: Solli Engineering, LLC & Fidelity National Title Insurance Company.  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 3, 4, 5, 6a, 7a, 7b, 7c, 8, 9, 13, 15, 16, 17 & 19 of Table A thereof. The fieldwork was completed on 9/22/2021.

10-8-2021  
Date of map or plat  
BRIAN C. FRANETOVICH  
MA PLS #54258  
brian@northeastsurvey.com



**NORTHEAST SURVEY CONSULTANTS**  
116 PLEASANT ST., SUITE 302  
EASTAMPTON, MA 01027  
(413) 285-5144

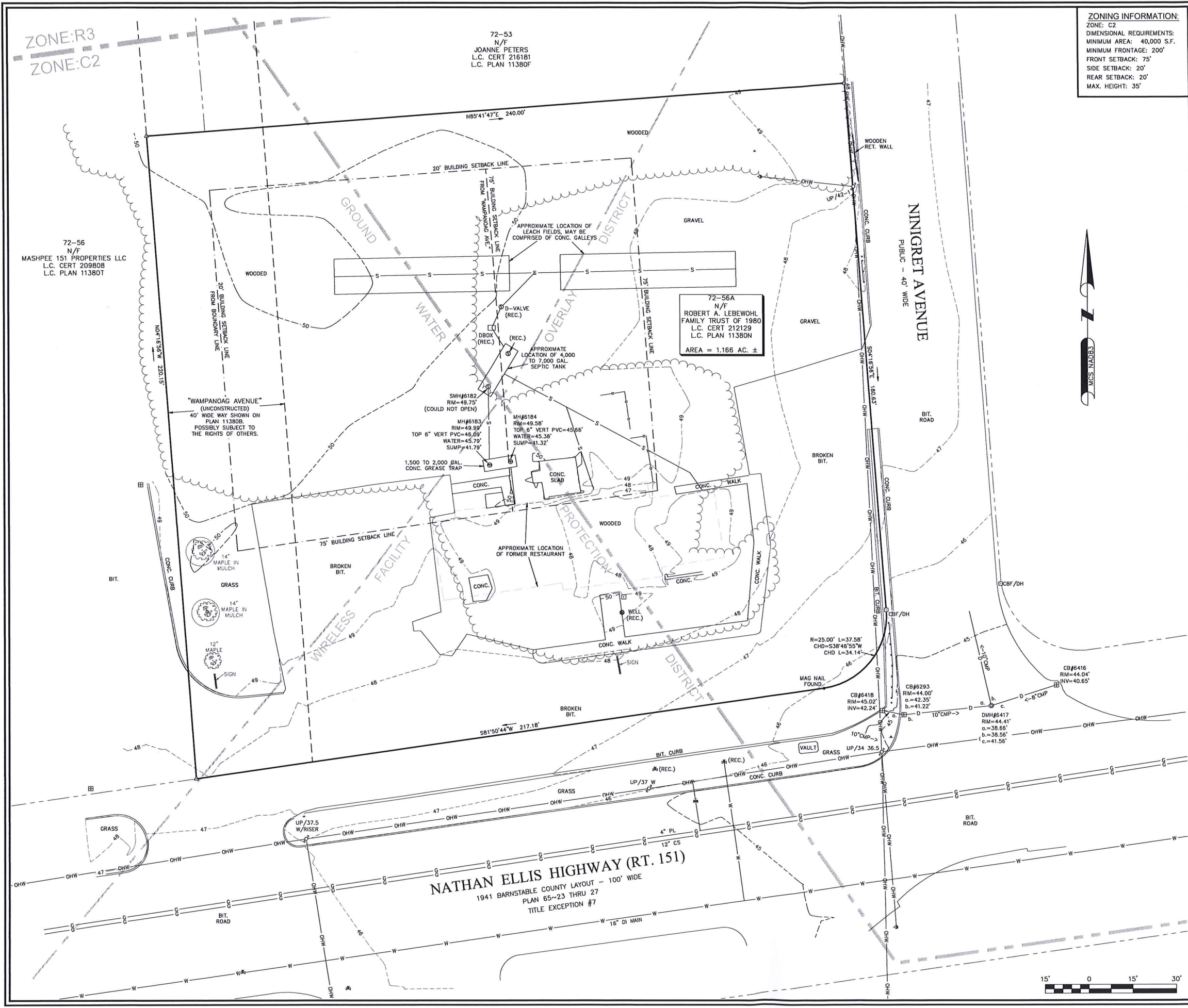
413  
**NATHAN ELLIS HIGHWAY**

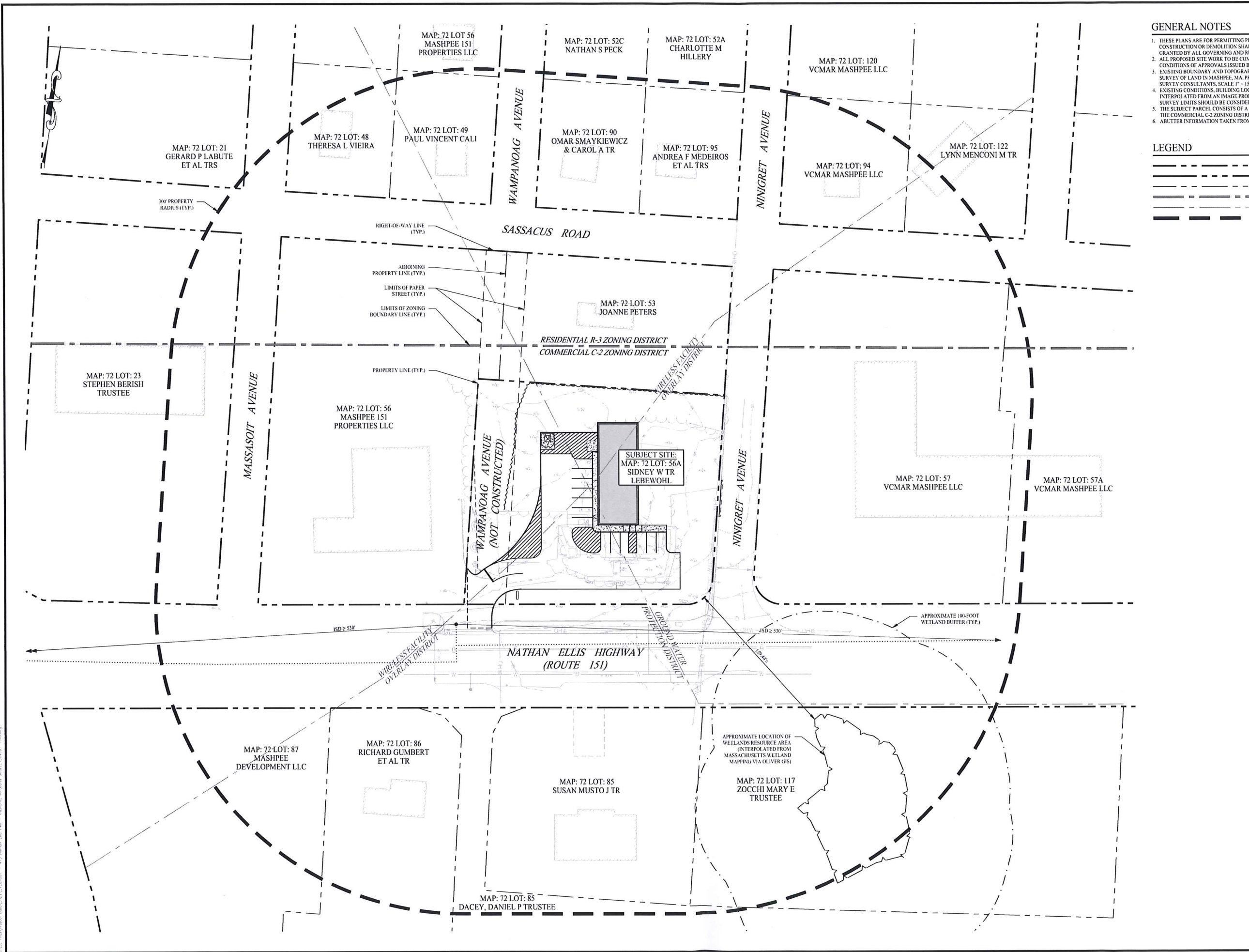
**SURVEYOR:** BCF  
**DRAFTING:** BCF  
**FIELD WORK:** BCF  
**PROJECT NUMBER:** 21-144  
**DRAWING NAME:** 21-144.DWG

**ENGINEER:** BCF  
**DESIGN:** BCF  
**MAK:** BCF  
**VERT. SCALE:** 1" = 15'  
**DATE:** 10-08-2021

**ALTANSPS LAND TITLE SURVEY OF LAND IN MASHPEE, MA PREPARED FOR SOLLI ENGINEERING, LLC**

SHEET NO. 1 OF 1





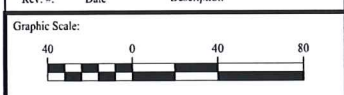
**GENERAL NOTES**

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL COMMENCE UNTIL FINAL APPROVAL OF THIS PLAN IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
2. ALL PROPOSED SITE WORK TO BE COMPLETE IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY LOCAL, STATE AND OR FEDERAL REVIEWING AGENCIES.
3. EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON PLAN TITLED "ALTA/NSPS LAND TITLE SURVEY OF LAND IN MASHPEE, MA, PREPARED FOR SOLLI ENGINEERING, LLC", BY NORTHEAST SURVEY CONSULTANTS, SCALE 1" = 15', DATED 10/08/2021.
4. EXISTING CONDITIONS, BUILDING LOCATIONS AND BUILDING SIZES OF ADJOINING PROPERTIES WAS INTERPOLATED FROM AN IMAGE PRODUCED BY GOOGLE EARTH PRO. AREAS OUTSIDE OF THE SURVEY LIMITS SHOULD BE CONSIDERED APPROXIMATE.
5. THE SUBJECT PARCEL, CONSISTS OF A TOTAL AREA OF APPROXIMATELY 1.17 ACRES, LOCATED IN THE COMMERCIAL C-2 ZONING DISTRICT OF THE TOWN OF MASHPEE, MASSACHUSETTS.
6. BUTTER INFORMATION TAKEN FROM THE TOWN OF MASHPEE ASSESSORS OFFICE.

**LEGEND**

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	ZONING BOUNDARY LINE
	OVERLAY ZONING BOUNDARY LINE
	300' PROPERTY RADIUS

1	12/01/21	Plan / Design Review Committee
Rev. #:	Date	Description



**SOLLI ENGINEERING**  
 501 Main Street, Merrick, CT 06460 | (203) 890-8455 | F: (203) 890-0995  
 11 Vandalia Ave., Newwood, MA 02062 | T: (781) 355-9191 | F: (203) 890-6685

Drawn By: STM  
 Checked By: CJB  
 Approved By: KMS  
 Project #: 21204301  
 Plan Date: 11/01/21  
 Scale: 1" = 40'



**PROPOSED SHERWIN-WILLIAMS**  
 413 NATHAN ELLIS HIGHWAY  
 MASHPEE, MASSACHUSETTS

Sheet Title: 300' RADIUS MAP  
 Sheet #: 1.40

Dwg: 2021-0021 - 1.40.dwg Date: 11/01/21 11:40:00 AM User: kms

ZONING COMPLIANCE TABLE			
ZONE: C-2 COMMERCIAL ZONING DISTRICT			
ZONING REQUIREMENT	ZONING STANDARD	EXISTING CONDITIONS	PROPOSED CONDITIONS
MINIMUM PARCEL AREA	40,000 SF	50,782± SF	50,782± SF
MINIMUM FRONTAGE	200 FT	434 FT*	434 FT*
MINIMUM FRONT YARD BUILDING SETBACK	75 FT	N/A	77 FT
MINIMUM SIDE YARD BUILDING SETBACK	20 FT / 50 FT*	N/A	75 FT
MINIMUM REAR YARD BUILDING SETBACK	20 FT / 50 FT*	N/A	32 FT
MAXIMUM HEIGHT	35 FT / 2 STORIES	N/A	22.5 FT
LANDSCAPE BUFFER	50 FT* / 10 FT	< 10 FT	14.5 FT** / 10 FT
MAXIMUM LOT COVERAGE	20%	N/A	9.5%***

**NOTES:**  
 \* THE SIDE AND REAR BUILDING SETBACKS INCREASE TO 50 FEET WHEN ABUTTING A RESIDENTIAL ZONE IN ACCORDANCE WITH NOTE 8 OF THE LAND SPACE REQUIREMENTS TABLE IN THE TOWN OF MASHPÉE ZONING BYLAWS.  
 \*\* A 50-FOOT WOODED BUFFER IS REQUIRED ALONG ROUTE 151 IN ITS NATURAL STATE. AREA MAY BE REDUCED BY THE PLANNING BOARD THROUGH SPECIAL PERMIT PROCESS.  
 \*\*\* ANY EXISTING OR PROPOSED STREET OR ANY ROADWAY, RIGHT-OF-WAY OR EASEMENT TWENTY (20) FEET OR MORE IN WIDTH MAY NOT BE COUNTED TOWARD LOT SIZE FOR THE PURPOSE OF CALCULATING MAXIMUM LOT COVERAGE. (THE SUBJECT SITE HAS A TOTAL LOT AREA OF 50,782± SF. WAMPANOAG AVENUE (PAPER STREET) EXISTS ALONG THE WESTERN PORTION OF THE SITE. FOR THE PURPOSES OF THIS CALCULATION THAT AREA HAS BEEN EXCLUDED AND THE LOT SIZE USED IN THIS CALCULATION IS 42,029± SF, 4,000± SF / 42,029± SF = 0.095)

- ### SITE PLAN NOTES
- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL COMMENCE UNTIL FINAL APPROVAL OF THIS PLAN IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
  - ALL PROPOSED SITE WORK TO BE COMPLETE IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY LOCAL, STATE AND/OR FEDERAL REVIEWING AGENCIES.
  - EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON PLAN TITLED "ALTA NPS LAND TITLE SURVEY OF LAND IN MASHPÉE, MA. PREPARED FOR SOLLI ENGINEERING, LLC." BY NORTHEAST SURVEY CONSULTANTS, SCALE 1" = 15'. DATED 10/08/2021.
  - THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE TOWN OF MASHPÉE ZONING BYLAWS, DATED OCTOBER 19, 2020 AND ALL APPLICABLE DESIGN REQUIREMENTS WITHIN THE TOWN OF MASHPÉE RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, DATED MAY 5, 2010.
  - INTERSECTION SIGHT DISTANCE FROM THE EXISTING DRIVEWAY EXCEEDS THE REQUIRED SIGHT DISTANCE BASED ON A POSTED SPEED LIMIT OF 45 MILES PER HOUR WHICH REQUIRES 530 FEET IN ACCORDANCE WITH GUIDANCE PROVIDED IN THE 2006 EDITION OF THE MASSACHUSETTS HIGHWAY DEPARTMENT PROJECT DEVELOPMENT & DESIGN GUIDE AND THE AMERICAN ASSOCIATION OF THE STATE HIGHWAY AND TRANSPORTATION OFFICIALS A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS, 7TH EDITION.
  - PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OF WORK AT (617) AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND SECURITY OF THE SITE DURING ALL PHASES OF CONSTRUCTION. THE ARCHITECT AND ENGINEER ARE NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
  - THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
  - THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING.
  - SHOULD ANY UNCHARTERED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
  - ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED.
  - PAVEMENT MARKING KEY:  
 4" SWL - 4" SOLID WHITE LINE  
 12" SWB 12" SOLID WHITE STOP BAR  
 13. PARKING SPACES SHALL BE STRIPED WITH 4" SWL. HATCHED AREA SHALL BE STRIPED WITH 4" SWL AT A 45° ANGLE, 2" ON CENTER. HATCHING SYMBOLS AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE AND WHITE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.  
 14. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER.  
 15. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH MASSACHUSETTS DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.  
 16. TEST PIT OBSERVATIONS AND PERCOLATION TESTS WERE PERFORMED BY A TITLE 5 SOIL EVALUATOR OF SOLLI ENGINEERING ON 10/07/2021, AND OBSERVED BY THE HEALTH AGENT, GLENN HARRINGTON OF THE TOWN OF MASHPÉE BOARD OF HEALTH.

### PARKING SUMMARY

REDEVELOPMENT	GSF	REQUIREMENT	REQ.	PROP.
PROPOSED HARDWARE / RETAIL STORE	4,000± SF	1 SPACE PER 300 SF OF GFA*	13	13
<b>TOTAL</b>			<b>13</b>	<b>13</b>

**NOTES:**  
 \* IN ACCORDANCE WITH SECTION 174-36 OF THE MASHPÉE ZONING BYLAWS, WHERE THE COMPLETION OF REQUIRED PARKING SPACE RESULTS IN A FRACTIONAL NUMBER, ONLY THE FRACTION OF 1/2 OR MORE SHALL BE COUNTED AS ONE.

### LEGEND

- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- ADJOINING LOT LINE
- RIGHT-OF-WAY LINE
- BUILDING SETBACK
- LANDSCAPE BUFFER
- PROPOSED TREE LIMITS
- LIMITS OF STORMWATER BASIN
- PROPOSED BUILDING LIMITS
- SAWCUT PAVEMENT LINE
- CAPE COD BERM
- CONCRETE CURB
- STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT
- HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT
- CONCRETE SIDEWALK / PAVEMENT
- SIDEWALK LIMITS
- CONCRETE WHEEL STOP
- DUMPSTER / TRASH RECEPTACLE
- TRAFFIC SIGN
- TRAFFIC SIGN DESIGNATION
- MASS - PAVEMENT STRIPING - WHITE STANDARD AND ADA PARKING SPACES

### SIGN LEGEND

SIZES (IN)	MUTCD #	SUPPORTS
30"	R1-1	1
SIZES (IN)	MUTCD #	SUPPORTS
12"x18"	R3-5 (R3-5)	1
SIZES (IN)	MUTCD #	SUPPORTS
12"x18"	-	1

2	01/2022	Planning Board Comments
1	12/01/21	Plan / Design Review Committee
Rev. #:	Date	Description

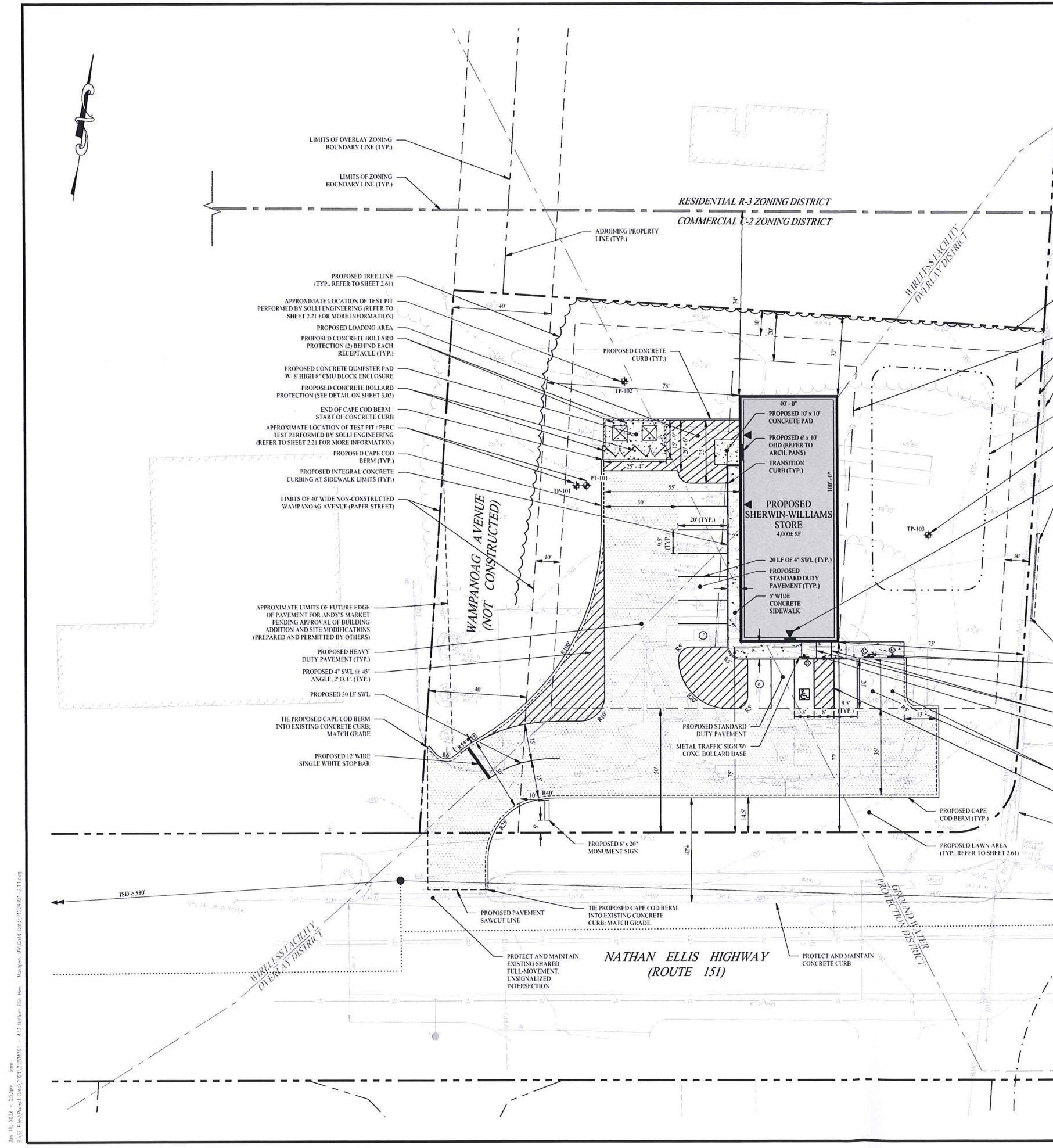
Graphic Scale:  
 0 20 40

**SOLLI ENGINEERING**  
 501 Main Street, Meriden, CT 06460 F: (203) 948-5455 | T: (203) 888-0605  
 11 Vashburn Ave., Newwood, MA 02062 T: (781) 352-8419 | F: (203) 888-0605

Drawn By: STM  
 Checked By: CJB  
 Approved By: KMS  
 Project #: 21204301  
 Plan Date: 11/01/21  
 Scale: 1" = 20'

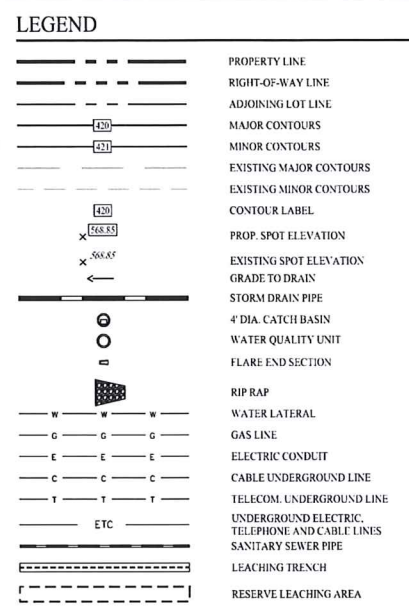
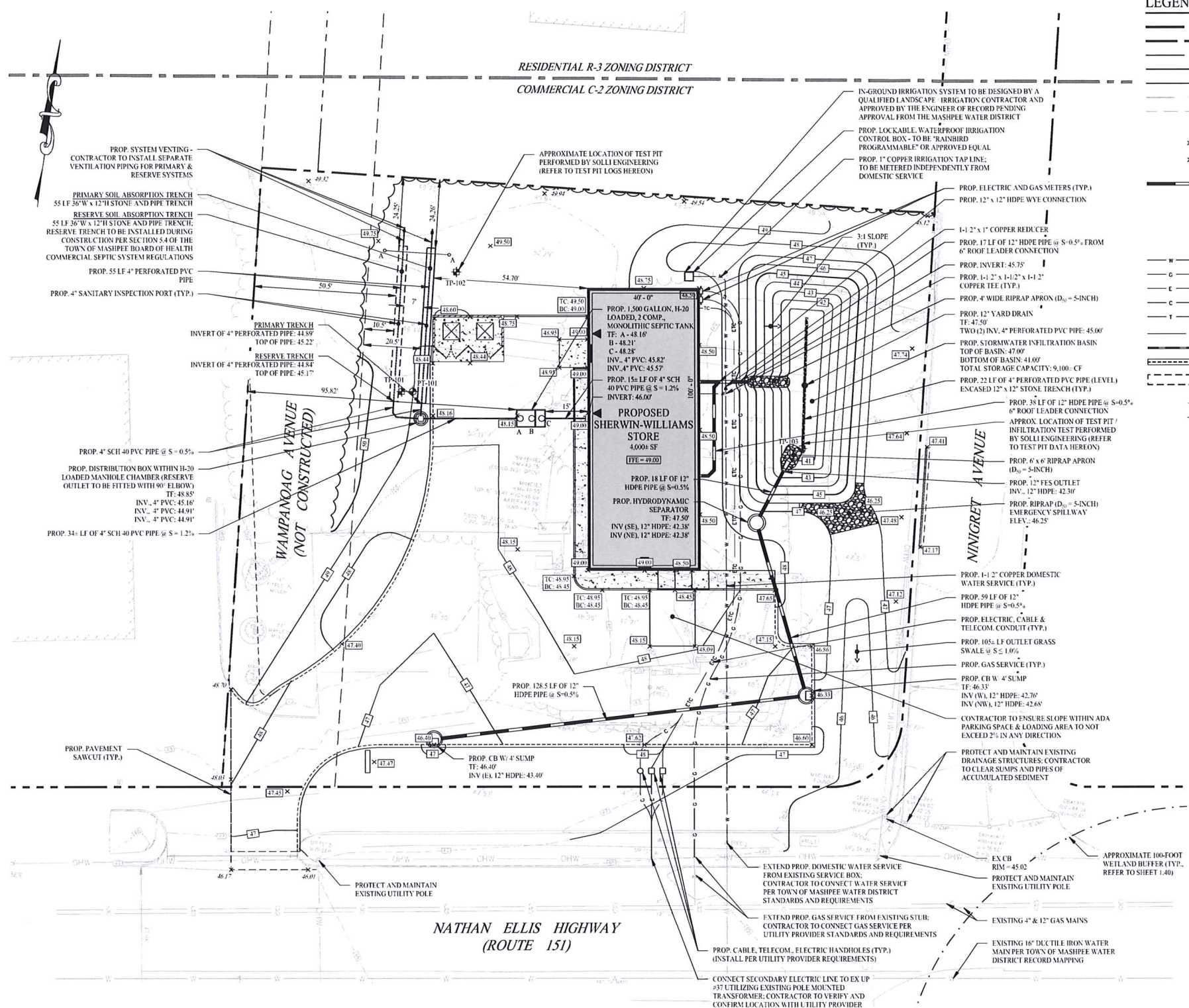
Project: **PROPOSED SHERWIN-WILLIAMS**  
 413 NATHAN ELLIS HIGHWAY  
 MASHPÉE, MASSACHUSETTS

Sheet Title: **SITE LAYOUT PLAN** Sheet #: **2.11**



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  - THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE TOWN OF MASHPÉE ZONING BYLAWS, DATED OCTOBER 19, 2020 AND ALL APPLICABLE DESIGN REQUIREMENTS WITHIN THE TOWN OF MASHPÉE RULES AND REGULATIONS GOVERNING THE SUBDIVISION OF LAND, DATED MAY 5, 2000.
  - UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
  - SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
  - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
  - ALL DISTURBANCE INCURRED TO CITY, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER.
  - IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
  - PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL, SO AS TO PREVENT THE SILLING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
  - ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
  - GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO ARISE AND PAVING OPERATIONS COMMENCING.
  - THE PROPERTY IS LOCATED WITHIN A ZONE II WELL HEAD PROTECTION.
  - THE PROJECT SITE IS LOCATED OUTSIDE OF FEMA 500-YEAR FLOOD PLAIN.
  - ALL CATCH BASINS PROPOSED ARE TO BE 4 FOOT DEEP SLUMP CATCH BASINS WITH HOODED OUTLETS. SEE DETAILS ON SHEET 3.03.
  - SEPTIC SYSTEM HAS BEEN DESIGNED IN ACCORDANCE WITH THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION 310 CMR 15.000 (TITLE 5) AND THE MASHPÉE BOARD OF HEALTH REGULATIONS.
  - TEST PITS AND PERCOLATION TESTS WERE PERFORMED BY CASEY J. BURCH (LICENSED SOIL EVALUATOR NO. 14049) AND UNDER THE OBSERVANCE OF GLEN HARRINGTON (TOWN OF MASHPÉE HEALTH AGENT). ALL TESTS AND OBSERVATIONS HAVE BEEN PERFORMED IN COMPLIANCE WITH ALL STATE REGULATIONS.

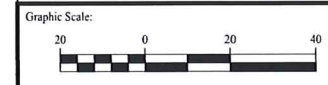
**UTILITY CONTACTS**

WATER	GAS
MASHPÉE WATER DISTRICT 79 INDUSTRIAL AVENUE MASHPÉE, MA 02649 (508) 477-6767	NATIONAL GRID 40 SYLVAN ROAD WALTHAM, MA 02451
ELECTRIC	SANITARY / SEPTIC
EASTERN MASSACHUSETTS ELECTRIC 16 GREAT NECK ROAD NORTH MASHPÉE, MA 02649 (508) 539-1426	GLEN HARRINGTON / HEALTH AGENT MASHPÉE BOARD OF HEALTH 16 GREAT NECK ROAD NORTH MASHPÉE, MA 02649 (508) 633-3797

**ABBREVIATIONS**

Symbol	Description
@	AT BOTTOM OF CURB
CB	CATCH BASIN
DIP	DUCTILE IRON PIPE
EX	EXISTING
FES	FLARED END SECTION
FEE	FINISHED FLOOR ELEVATION
GAL	GALLON
HDPE	HIGH-DENSITY POLYETHYLENE PIPE
INV	INVERT
LF	LINEAR FEET
PR	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
S	SLOPE
SCH	SCHEDULE 40 PIPE
TC	TOP OF CUTB
TF	TOP OF FRAME
TYP	TYPICAL
UP	UTILITY POLE

Rev. #	Date	Description
4	01/10/22	Planning Board Comments
3	12/28/21	Peer Review Response to Comments
2	12/17/21	BOH Response to Comments
1	12/01/21	Plan / Design Review Committee



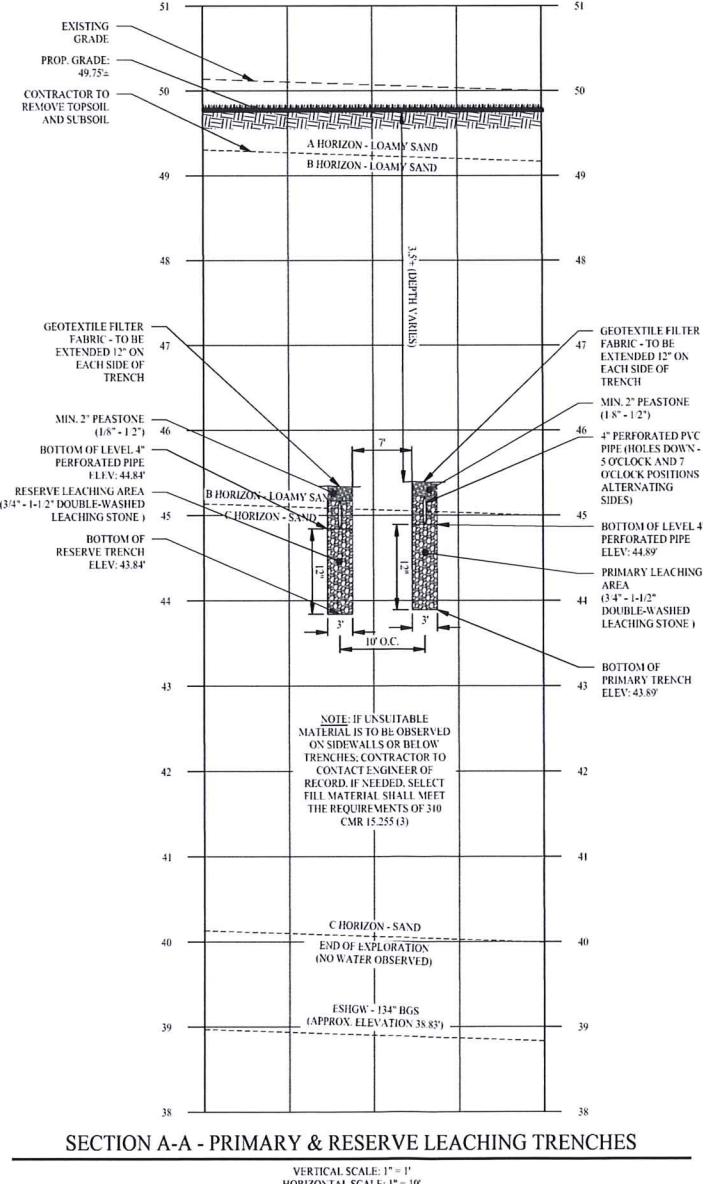
**SOLLI ENGINEERING**  
501 Main Street, Worcester, CT 06068 | (203) 880-5455 | F: (203) 880-9695  
11 Vanderbilt Ave., New Bedford, MA 02602 | T: (508) 352-9491 | F: (508) 352-9491

Drawn By: STM  
Checked By: CJB  
Approved By: KMS  
Project #: 21204301  
Plan Date: 11/01/21  
Scale: 1" = 20'

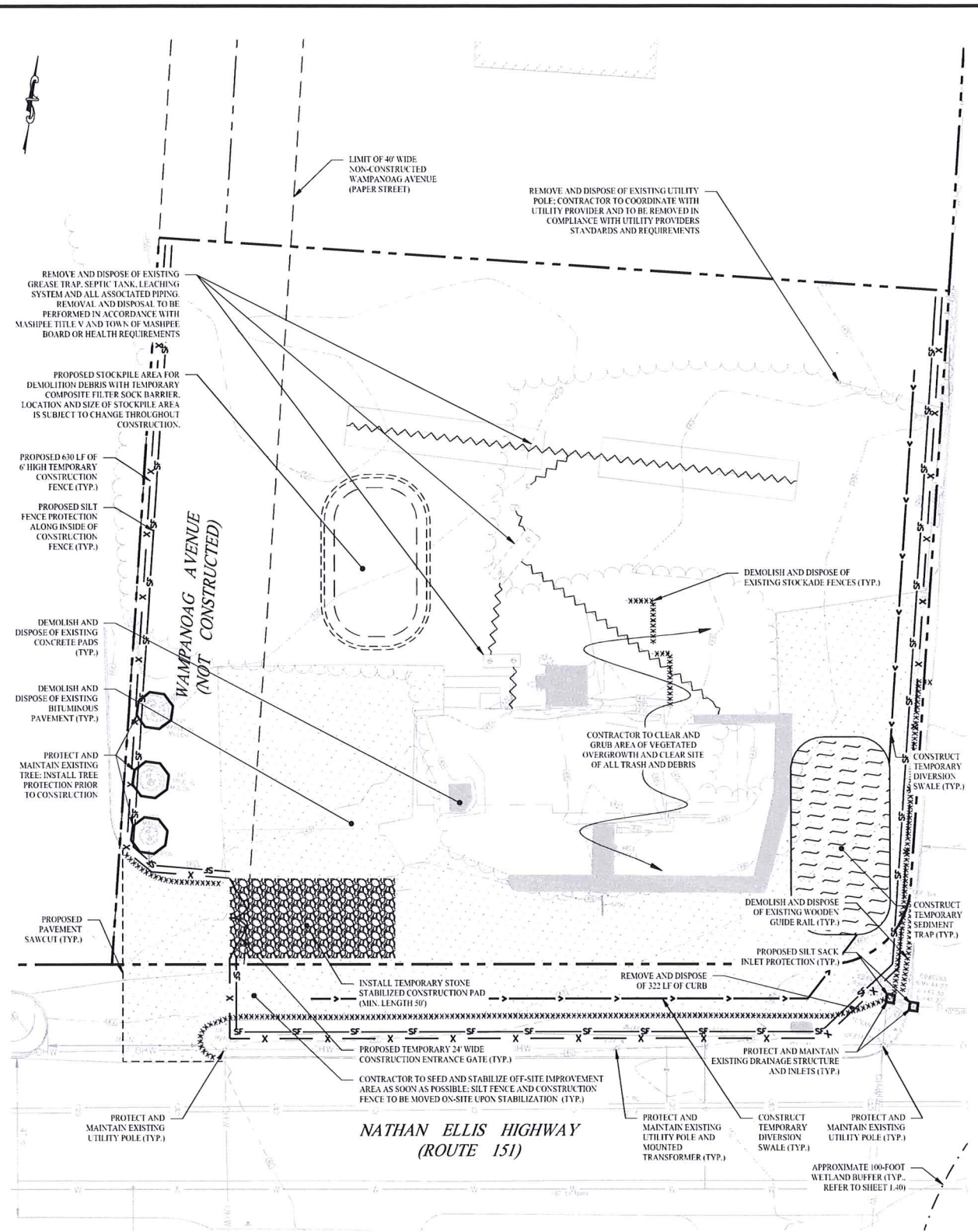
KEVIN M. SOLLI  
REGISTERED PROFESSIONAL ENGINEER  
MA 51952

**PROPOSED SHERWIN-WILLIAMS**  
413 NATHAN ELLIS HIGHWAY  
MASHPÉE, MASSACHUSETTS

Sheet Title: **GRADING, DRAINAGE & UTILITY PLAN** Sheet #: **2.21**



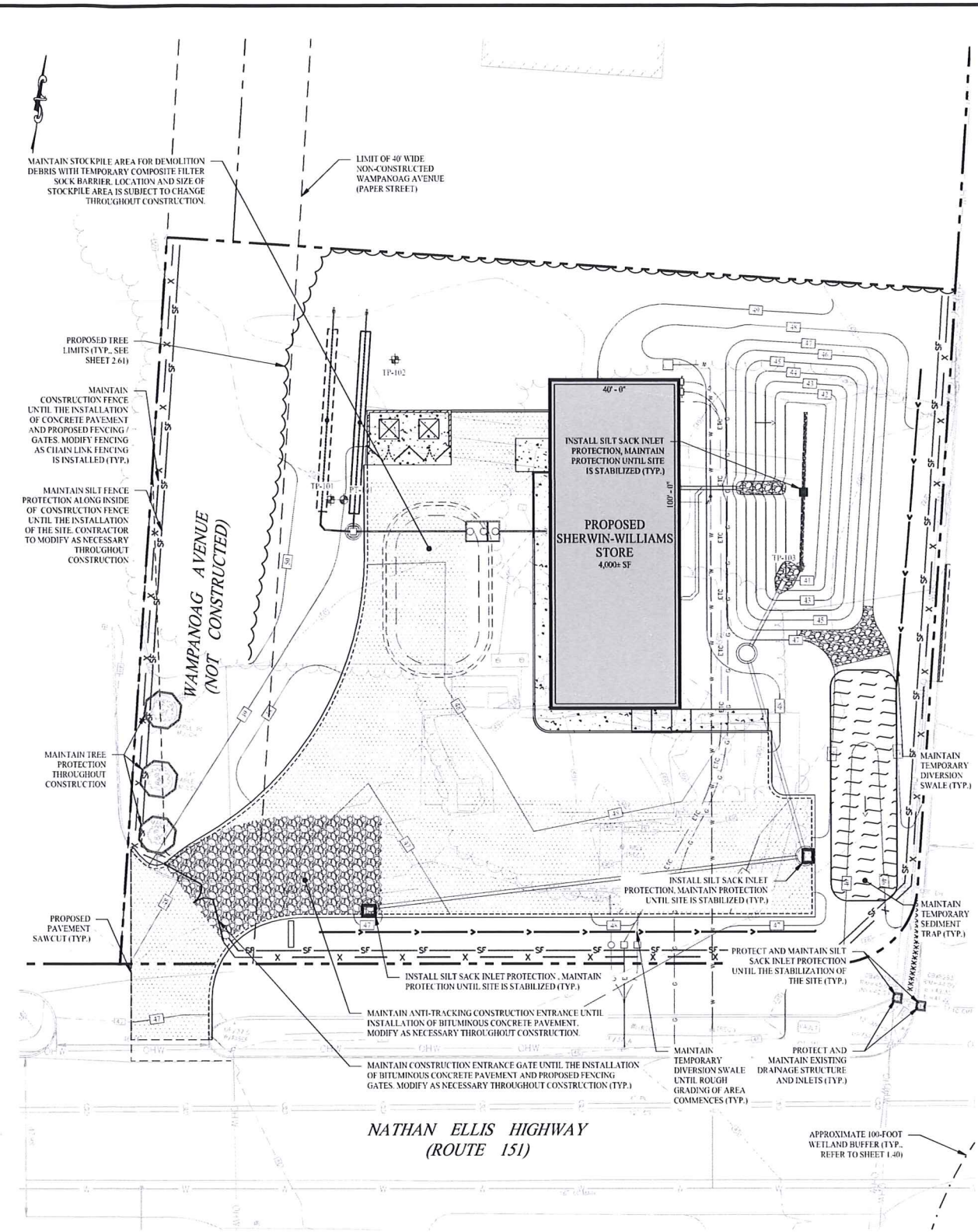
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DEMOLITION & SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE I

- PHASE I CONSTRUCTION SEQUENCE**
- DIRECT CONSTRUCTION FENCE, AS SHOWN ON PLAN HEREON.
  - INSTALL STABILIZED CONSTRUCTION ENTRANCE EXIT.
  - INSTALL SILT FENCES / STRAW WADDE COMPOSITE FILTER SOCK ON THE SITE (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE PROTECTION).
  - INSTALL SILT SACK INLET PROTECTION.
  - INSTALL SEDIMENT TRAPS, DIVERSION SWALES & TREE PROTECTIONS.
  - PREPARE TEMPORARY PARKING AND STORAGE AREAS.
  - HALT ALL ACTIVITIES AND CONTACT THE ENGINEER OF RECORD TO PERFORM INSPECTION AND CERTIFICATION OF BEST MANAGEMENT PRACTICES (BMPs). GENERAL CONTRACTOR SHALL SUBMIT A SCHEDULE AND CONDUCT THE STORM WATER PRECONSTRUCTION MEETING WITH THE ENGINEER, AGENCIES AND CREDITORS BEFORE PROCEEDING WITH CONSTRUCTION.
  - UPON APPROVAL GRANTED BY THE ENGINEER OF RECORD, BEGIN CLEARING AND GRUBBING THE SITE. DEMOLITION AND CLEARING PROPOSED WITHIN THE RIGHT-OF-WAY OF ROUTE 151 SHALL BE PERFORMED IN A TIMELY MANNER. AREAS WITHIN THE RIGHT-OF-WAY SHOULD BE SEEDED AND STABILIZED ASAP.
  - ESTABLISH MATERIAL STOCKPILE AREA AND INSTALL STRAW WADDE, COMPOSITE FILTER SOCK OR SILT FENCE SURROUNDING MATERIAL STOCKPILE.
  - REMOVE ALL EXISTING SANITARY STRUCTURES, PIPING, DRAINAGE STRUCTURES, BUILDING FOUNDATIONS, PAVEMENT AND CONCRETE PROPOSED TO BE REMOVED.
  - CUT AND CAP ALL DRAINAGE PIPES AS DIRECTED ON PLAN HEREON.
  - BEGIN PRELIMINARY GRADING OF THE SITE AND PREPARE SITE FOR PHASE II (BUILDING PAD GRADING, UTILITY INSTALLATION, CURB PLACEMENT, SITE PAVING, ETC.)

- LEGEND-PHASE I**
- |  |                              |  |   |
|--|------------------------------|--|---|
|  | PROPERTY LINE                |  | REMOVE AND DISPOSE EXISTING IMPERVIOUS SURFACES |
|  | RIGHT-OF-WAY LINE            |  | TREE PROTECTION                                 |
|  | ADJOINING LOT LINE           |  | CONSTRUCTION ENTRANCE                           |
|  | SILT FENCE PROTECTION        |  |   |
|  | COMPOSITE FILTER SOCK        |  |   |
|  | CONSTRUCTION FENCE           |  |   |
|  | REMOVE EXISTING UTILITIES    |  |   |
|  | PAVEMENT SAWCUT              |  |   |
|  | LIMITS OF MATERIAL STOCKPILE |  |   |
|  | CURB REMOVAL                 |  |   |
|  | SILT SACK INLET PROTECTION   |  |   |



SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE II

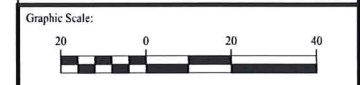
- PHASE II CONSTRUCTION SEQUENCE**
- TEMPORARILY SEED THROUGHOUT CONSTRUCTION. DENuded AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
  - INSTALL INLET PROTECTION AT ALL PROPOSED STORM SEWER STRUCTURES AS EACH INLET STRUCTURE IS INSTALLED.
  - INSTALL UTILITIES AS SHOWN ON SHEET 2.21.
  - PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
  - INSTALL CURBS.
  - PREPARE SITE FOR PAVING.
  - PAVE AREA SHOWN ON PHASE II PLAN. REFER TO SHEET 2.11 FOR MORE INFORMATION.
  - INSTALL APPROPRIATE SILT PROTECTION DEVICES FOR PAVED AREAS AS WORK PROGRESSES.
  - COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS CONSTRUCTED SIDEWALK.
  - OBTAIN CONCURRENCE WITH THE CONSTRUCTION MANAGER THAT THE SITE HAS BEEN FULLY STABILIZED THEN:
    - REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
    - STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF BMPs, AND
    - ASK THE C.O.D. TO CONTACT THE ENGINEER TO COMPLETE THE ENGINEERS ON-SITE INSPECTIONS AND REPORT.
  - CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION REPORT IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED.

- LEGEND - PHASE II**
- |  |                              |  |   |
|--|------------------------------|--|---|
|  | PROPERTY LINE                |  | TREE PROTECTION INSTALLED IN PHASE I            |
|  | RIGHT-OF-WAY LINE            |  | SILT SACK INLET PROTECTION INSTALLED IN PHASE I |
|  | ADJOINING LOT LINE           |  |   |
|  | SILT FENCE PROTECTION        |  |   |
|  | CONSTRUCTION FENCE           |  |   |
|  | PAVEMENT SAWCUT              |  |   |
|  | COMPOSITE FILTER SOCK        |  |   |
|  | LIMITS OF MATERIAL STOCKPILE |  |   |
|  | LIMITS OF PROPOSED BUILDING  |  |   |
|  | SILT SACK INLET PROTECTION   |  |   |
|  | CONSTRUCTION ENTRANCE        |  |   |

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- UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES PRIOR TO DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. SHOULD ANY UNCORRECTED OR INCORRECTLY CHAINED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
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- GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO ABSE AND PAVING OPERATIONS COMMENCING.
- ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN COMPLIANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS BY THE EXECUTIVE OFFICE OF ENVIRONMENTAL AFFAIRS.
- REFER TO SHEET 2.21 FOR INSTALLATION OF STORM WATER MANAGEMENT SYSTEMS.
- REFER TO SHEET 2.21 FOR INSTALLATION OF UTILITIES AND ASSOCIATED STRUCTURES.
- REFER TO SHEET 2.41 FOR SOIL EROSION AND SEDIMENT CONTROL NOTES AND DETAILS.

2	12/28/21	Peer Review Response to Comments
1	12/01/21	Plan / Design Review Committee
Rev. #:	Date	Description



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 11 Vanderbilt Ave., Newwood, MA 02062 | T: (781) 352-5491 | F: (203) 850-9095

Drawn By: CMH  
 Checked By: STM  
 Approved By: KMS  
 Project #: 21204301  
 Plan Date: 11/01/21  
 Scale: 1" = 20'  
 Kevin Solli, P.E.  
 MA 51952

Project: **PROPOSED SHERWIN-WILLIAMS**  
 413 NATHAN ELLIS HIGHWAY  
 MASHPPEE, MASSACHUSETTS

Sheet Title: **SOIL EROSION & SEDIMENT CONTROL PLAN** Sheet #: **2.31**

Jan. 10, 2022 - 2:31pm  
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# SOIL EROSION AND EROSION CONTROL NOTES

## SEDIMENT AND EROSION CONTROL NARRATIVE

THE SEDIMENT AND EROSION CONTROL PLAN WAS DEVELOPED TO PROTECT THE EXISTING ROADWAY AND STORM DRAINAGE SYSTEMS, ADJACENT PROPERTIES, AND ANY ADJACENT WETLAND AREA AND ANY ADJACENT WATER COURSE FROM SEDIMENT, AGGREGATE, RUNOFF, AND EROSION.

## CONSTRUCTION SCHEDULE

THE ANTICIPATED STARTING DATE FOR CONSTRUCTION IS 01/02/2022 WITH COMPLETION ANTICIPATED BY 03/31/2022. APPROPRIATE EROSION CONTROL MEASURES AS DESCRIBED HEREIN, SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF ALL SITE CLEARING OR CONSTRUCTION ACTIVITY. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED.

## CONTINGENCY EROSION PLAN

THE CONTRACTOR SHALL INSTALL ALL SPECIFIED EROSION CONTROL MEASURES AND WILL BE REQUIRED TO MAINTAIN THEM IN THEIR INTENDED FUNCTIONING CONDITION. THE AGENTS OF THE TOWN OF MASHPÉE HAVE THE AUTHORITY TO REQUIRE SUPPLEMENTAL MAINTENANCE OR ADDITIONAL MEASURES IF FIELD CONDITIONS ARE ENCOUNTERED BEYOND WHAT WOULD NORMALLY BE ANTICIPATED.

## CONSTRUCTION SEQUENCE

- CONTACT THE TOWN OF MASHPÉE ZONING OFFICIAL AND BUILDING INSPECTOR AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO COMMENCEMENT OF ANY DEMOLITION, CONSTRUCTION OR REGULATED ACTIVITY ON THIS PROJECT.
- IF ANY EXISTING CATCH BASIN OR SITES OF CATCH BASINS OR INSTALL SILT SACKS ON EXISTING CATCH BASIN INLETS. INSTALL SILT SACKS AT EXISTING EROSION CONTROL DEVICES INDICATED ON THESE PLANS AT FURTHER OR PROPOSED SITE DISTURBANCE. AND INSTALL ALL OTHER EROSION CONTROL MEASURES INDICATED ON THESE PLANS.
- CONDUCT INSTALLATION OF DRAINAGE SYSTEMS.
- COMMENCE LATERAL, INSTANT EROSION CONTROLS AS WORK PROGRESSES AND CONTINUAL STORM DRAINAGE SYSTEM CONSTRUCTION.
- INSTALL SILT SACK INLET PROTECTION TO PREVENT SILT FROM ENTERING INTO THE STORM DRAINAGE SYSTEMS.
- TRANSFER RESPONSIBILITY FOR SOIL EROSION AND SEDIMENT CONTROL AT CLOSING CONSTRUCTION BY SIGNING OFF ALL PAVED AREAS AND UTILITIES.
- ROUGH GRADING AND FILLING OF AGRICULTURAL AREAS.
- IMMEDIATELY UPON DISCOVERY OF UNDESIRABLE CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- CONTINUAL INSTALLATION OF STORM DRAINAGE AS SUBGRADE ELEVATIONS ARE ACHIEVED.
- THROUGHOUT CONSTRUCTION, REMOVE SEDIMENT FROM PAVED AREAS AND UTILITIES AND OTHER EROSION CONTROL DEVICES. REMOVAL SHALL BE ON A PERIODIC BASIS EVERY SIGNIFICANT RAINFALL OF 0.1 INCH OR GREATER. INSPECTOR OF EROSION CONTROL MEASURES SHALL BE ON A WEEKLY BASIS AND AFTER EACH RAINFALL OF 0.10 INCHES OR GREATER. SEDIMENT COLLECTED SHALL BE DEPOSITED AND SPREAD EVENLY UPLAND ON NEARBY DRAINAGE SYSTEMS.
- INSTALL UTILITIES COMPLETE STORM DRAINAGE SYSTEM.
- CONSTRUCT PAVEMENT STRUCTURE AND COMPLETE PAVING.
- CONDUCT FINAL GRADING.
- FINAL FINE GRADING ON SLOPE AND NON-PAVED AREAS IS REQUIRED.
- LANDSCAPE NON-PAVED AREAS AND PERIMETER AREAS AS REQUIRED.
- CLEAN UP AND REMOVE DEBRIS AND STRUCTURES OF DEBRIS AND WASTEWATER.
- UPON COMPLETION OF THE TOWN OF MASHPÉE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED FOLLOWING CLEANING AND GRUBBING OPERATIONS.
- FOR MORE DETAILED SEQUENCING BROKERS LP INTO PHASES SEE SHEET 2.31.

## OPERATION REQUIREMENTS

- ### CLEARING AND/OR GRUBBING OPERATIONS
- ALL SEDIMENTATION AND EROSION CONTROL MEASURES WILL BE INSTALLED PRIOR TO THE START OF CLEARING AND/OR GRUBBING OPERATIONS.
  - FOLLOWING INSTALLATION OF ALL SEDIMENTATION AND EROSION CONTROL MEASURES, THE CONTRACTOR SHALL NOT PROCEED WITH GRADING, FILLING, OR OTHER CONSTRUCTION OPERATIONS UNTIL THE ENGINEER HAS INSPECTED AND APPROVED ALL INSTALLATIONS.
  - THE CONTRACTOR SHALL TAKE EXTREME CARE DURING CLEARING AND GRUBBING OPERATIONS SO AS NOT TO DISTURB SEDIMENTATION AND EROSION CONTROL DEVICES.
  - FOLLOWING THE COMPLETION OF CLEARING AND GRUBBING OPERATIONS, ALL AREAS SHALL BE STABILIZED WITH TOPSOIL AND SEDIMENT OR PROCESSED AGRICULTURAL STONE AS SOON AS PRACTICAL.
- ### ROUGH GRADING OPERATIONS
- DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING AND DRAINAGE PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE, IF REQUIRED.
  - ALL STOCKPILED TOPSOIL THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.

- ### PLACEMENT OF DRAINAGE SILT COLLECTIONS AND UTILITY DISCHARGES
- SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF MUD PILEM DISCHARGES AND UTILITY TRENCH MATERIAL STOCKPILES. HAY BALES MAY BE USED IF SHOWN ON THE EROSION CONTROL PLAN OR DIRECTED BY THE PROJECT ENGINEER.
- ### FINAL GRADING AND PAVING OPERATIONS
- ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS SHOWN ON EROSION CONTROL PLANS AND DETAILS, AND AS DESCRIBED IN SPECIFICATIONS AND AS DESCRIBED HEREIN.
  - NO CUT OR FILL SLOPES SHALL EXCEED 3:1 EXCEPT WHERE STABILIZED BY ROCK FACED EMBANKMENTS OR EROSION CONTROL BLANKETS. JULI MESH AND VEGETATION. ALL SLOPES SHALL BE SEEDED.
  - PAVEMENT SUB-BASES AND BASE COURSES SHALL BE INSTALLED OVER SLOPES TO BE PAVED AS SOON AS FINAL SUBGRADING IS ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN INSTALLED.
  - AFTER COMPLETION OF PAVEMENT, TOPSOIL, FINAL SEED, MULCH AND LANDING VEGETATION REMOVE ALL TEMPORARY EROSION CONTROL DEVICES ONLY AFTER ALL AREAS HAVE BEEN PAVED AND/OR GRASS HAS BEEN WELL ESTABLISHED AND THE SITE HAS BEEN INSPECTED AND APPROVED BY A TOWN OF MASHPÉE LANDSCAPER.

## INSTALLATION OF SEDIMENTATION AND EROSION CONTROL MEASURES

- ### SILTATION FENCE
- DO NOT INSTALL SILTATION FENCE ON THE UPHILL SIDE OF THE DESIGNATED FENCE LINE LOCATION.
  - POSITION THE POST AT THE BACK OF THE TRENCH (DOWNHILL SIDE) AND HAMMER THE POST AT LEAST 1 FEET INTO THE GROUND.
  - LAY THE BOTTOM FOUR INCHES OF THE FABRIC INTO THE TRENCH TO PREVENT UNDERMINING.
- ### SEDIMENT TRAP
- DURING THE REMOVAL AND/OR PLACEMENT OF EARTH AS INDICATED ON THE GRADING AND DRAINAGE PLAN, TOPSOIL SHALL BE STRIPPED AND APPROPRIATELY STOCKPILED FOR REUSE, IF REQUIRED.
  - ALL STOCKPILED TOPSOIL THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE SEEDED, MULCHED WITH HAY, AND ENCLOSED BY A SILTATION FENCE.
- ### PLACEMENT OF DRAINAGE SILT COLLECTIONS AND UTILITY DISCHARGES
- SILT FENCES SHALL BE INSTALLED AT THE DOWNHILL SIDES OF MUD PILEM DISCHARGES AND UTILITY TRENCH MATERIAL STOCKPILES. HAY BALES MAY BE USED IF SHOWN ON THE EROSION CONTROL PLAN OR DIRECTED BY THE PROJECT ENGINEER.
- ### FINAL GRADING AND PAVING OPERATIONS
- ALL INLET AND OUTLET PROTECTION SHALL BE PLACED AND MAINTAINED AS SHOWN ON EROSION CONTROL PLANS AND DETAILS, AND AS DESCRIBED IN SPECIFICATIONS AND AS DESCRIBED HEREIN.
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  - PAVEMENT SUB-BASES AND BASE COURSES SHALL BE INSTALLED OVER SLOPES TO BE PAVED AS SOON AS FINAL SUBGRADING IS ESTABLISHED AND UNDERGROUND UTILITIES AND STORM DRAINAGE SYSTEMS HAVE BEEN INSTALLED.
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## BY STORM WATER RUN-OFF

- REMOVE ALL VEGETATION AND OTHER MATERIALS FROM THE FOUNDATION AREA GRADE AND CROWN FOR PROTECTION FOR POSITIVE DRAINAGE.
  - PLACE SILT SACK INTO FRAME AND PROPERLY PLACE THE SILT SACK INTO THE FRAME OF THE CATCH BASIN.
  - PLACE GRATE BACK ONTO FRAME AND ENSURE NO PORTIONS OF THE SILT SACK HAVE SAGGED INTO THE CATCH BASIN.
  - ONCE GRATE IS PLACED BACK ONTO FRAME, OBSERVE TO SEE IF SILT SACK IS INSTALLED IN A MANNER THAT WILL ALLOW SEDIMENT TO BE FILTERED OUT DURING STORM EVENTS.
- ### DIVERSION WALL
- EXCAVATE A MINIMUM CROSS SECTION WIDTH OF 1 FT. HEIGHT OF 1 FT. AND SLOPES 2:1.
  - SEED AND MULCH DIVERSION IS SOON AS THE SMALL IS CONSTRUCTED.
  - THE MAXIMUM CHANNEL GRADE SHALL BE LIMITED TO 1% PERCENT AND HAVE A POSITIVE GRADE TO THE OUTLET.
  - OUTLET TO THE DIVERGENT RUNOFF INTO THE STABILIZED SEDIMENTATION TRAP.

## CONSTRUCTION ENTRANCE

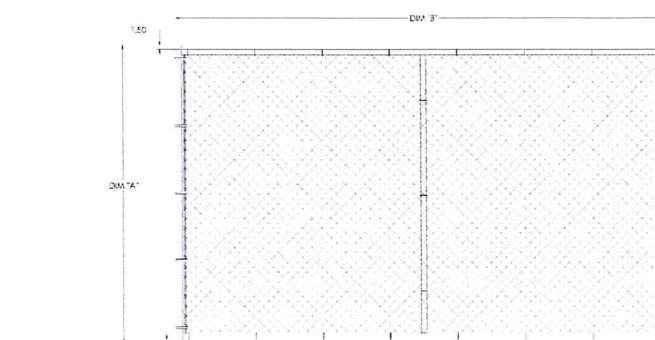
- REMOVE ALL VEGETATION AND OTHER MATERIALS FROM THE FOUNDATION AREA GRADE AND CROWN FOR PROTECTION FOR POSITIVE DRAINAGE.
  - PLACE SILT SACK INTO FRAME AND PROPERLY PLACE THE SILT SACK INTO THE FRAME OF THE CATCH BASIN.
  - PLACE GRATE BACK ONTO FRAME AND ENSURE NO PORTIONS OF THE SILT SACK HAVE SAGGED INTO THE CATCH BASIN.
  - ONCE GRATE IS PLACED BACK ONTO FRAME, OBSERVE TO SEE IF SILT SACK IS INSTALLED IN A MANNER THAT WILL ALLOW SEDIMENT TO BE FILTERED OUT DURING STORM EVENTS.
- ### DIVERSION WALL
- EXCAVATE A MINIMUM CROSS SECTION WIDTH OF 1 FT. HEIGHT OF 1 FT. AND SLOPES 2:1.
  - SEED AND MULCH DIVERSION IS SOON AS THE SMALL IS CONSTRUCTED.
  - THE MAXIMUM CHANNEL GRADE SHALL BE LIMITED TO 1% PERCENT AND HAVE A POSITIVE GRADE TO THE OUTLET.
  - OUTLET TO THE DIVERGENT RUNOFF INTO THE STABILIZED SEDIMENTATION TRAP.

## OPERATION AND MAINTENANCE OF SEDIMENTATION AND EROSION CONTROL MEASURES

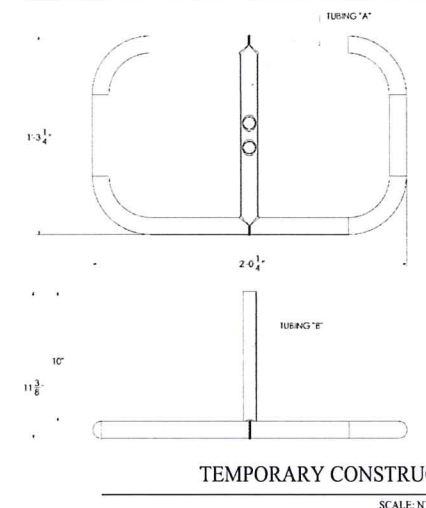
- ### SILTATION FENCE
- ALL SEDIMENTATION FENCES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DAMAGED FENCES AND BARRIERS SHALL BE REPAIRED AND REPLACED IMMEDIATELY.
  - SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THEY EXCEED A HEIGHT OF ONE FOOT.
- ### SILT SACK INLET PROTECTION
- ALL SILT SACK INLET PROTECTION DEVICES SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL. ALL DETERIORATED SILT SACKS AND SACKS THAT APPEAR TO HAVE AN EXCESS OF SEDIMENT SHALL BE REPLACED AND PROPERLY REPOSITIONED IN ACCORDANCE WITH THE PLAN.
  - SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT SACK WHEN THEY EXCEED A COUPLE INCHES TO SEVERAL FEET WITHIN THE CATCH BASIN.
- ### DIVERSION WALL
- ALL DIVERSION WALLS SHALL BE INSPECTED AS A MINIMUM WEEKLY OR AFTER EACH RAINFALL.
  - DAMAGE CAUSED BY CONSTRUCTION TRAFFIC OR OTHER ACTIVITY SHALL BE REPAIRED BY THE END OF EACH WORK DAY. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOOR AREA AND REPAIR THE DIVERSION RIDGE. CHECK OUTLETS REGULARLY AND MAKE TIMELY REPAIRS AS NEEDED.
  - WHEN THE AREA PROTECTED HAS BEEN PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL, AND APPROPRIATELY STABILIZE IT.
- ### CONSTRUCTION ENTRANCE
- THE CONSTRUCTION ENTRANCE AND FENCE SHALL BE INSPECTED AT A MINIMUM WEEKLY AND AFTER HEAVY RAINS OR HEAVY USE.
  - REMOVE MUD AND HEAVY SEDIMENT TRACKED OR WASHED ONTO PAVED ROAD IMMEDIATELY.
  - THE GRAVEL PAD SHALL BE TOPPED UP WITH SILT STONE WHEN MUD AND SOIL PARTICLES CLOG THE Voids IN THE GRAVEL.
  - REPAIR PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL.
  - REPAIR ANY BROKEN ROAD PAVEMENT IMMEDIATELY.
- ### SEDIMENT TRAP
- INSPECT SEDIMENT TRAP AFTER EACH SIGNIFICANT RAINFALL EVENT. REPAIR ANY EROSION OR FITTING HOLES IMMEDIATELY.
  - SET A STAKE AT ONE HALF THE DESIGN DEPTH OF THE SEDIMENT TRAP. REMOVE SEDIMENT WHEN IT HAS ACCUMULATED THROUGHOUT THE DESIGN DEPTH.
  - CLEAN OR REPLACE SPILL WAY GRAVEL FACING IF CLOGGED.
  - PROPERLY REPAIR ANY DISTURBED REPAIR.
  - INSPECT VEGETATION, RESEED AND REMULCH AS NECESSARY.
  - CHECK SLOTTED BOTTOM PERIODICALLY. FILL ANY LOW AREAS OF THE EMBANKMENT TO MAINTAIN DESIGN ELEVATION.

## SEDIMENT AND EROSION CONTROL NOTES

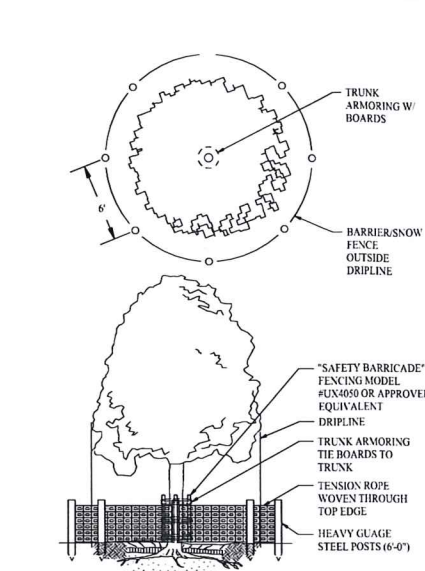
- THE SEDIMENT AND EROSION CONTROL PLAN IS ONLY INTENDED TO DESCRIBE THE SEDIMENT AND EROSION CONTROL TREATMENT FOR THIS SITE. SEE SEDIMENT AND EROSION CONTROL DETAILS AND CONSTRUCTION SEQUENCE. REFER TO SITE PLANS FOR GENERAL INFORMATION, ANOTHER CONTRACT PLANS FOR AT-TERRACE INFORMATION.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THIS SEDIMENT AND EROSION CONTROL PLAN. THE RESPONSIBILITY INCLUDES THE PROPER INSTALLATION, AND MAINTENANCE OF EROSION CONTROL MEASURES. NOTIFY ALL PARTIES ENGAGED WITH CONSTRUCTION ON THE SITE OF THE REQUIREMENTS AND OBJECTIVES OF THIS PLAN. FURNISHING THE GOVERNING AUTHORITY OF ANY TRANSFER OF THIS RESPONSIBILITY AND FOR CONSULTING A COPY OF THE SEDIMENT AND EROSION CONTROL PLAN TO THE TITLE TO THE LAND IS TRANSFERRED.
- AN EROSION CONTROL ROAD MAY BE REQUIRED TO BE POSTED WITH THE TOWN OF MASHPÉE TO ENSURE IMPLEMENTATION OF THE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE POSTING OF THIS ROAD AND FOR INQUIRIES TO THE TOWN OF MASHPÉE FOR INFORMATION ON THE METHOD, TYPE AND AMOUNT OF THE BOND POSTING UNLESS OTHERWISE SPECIFIED BY THE OWNER.
- VISUAL SITE INSPECTIONS SHALL BE CONDUCTED WEEKLY AND AFTER EACH MAJOR RAINFALL EVENT OF 0.1 INCHES OR GREATER BY QUALIFIED PERSONNEL TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL. TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL MEASURES ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AND INCLUDE:
  - A SUMMARY OF THE SITE CONDITIONS, EMBANKMENTS, AND CONFORMANCE.
  - THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION.
  - RECOMMENDATIONS TO MAKE REPAIRS WHEN NECESSARY.
- THE CONTRACTOR SHALL CONSULT ALL SEDIMENT AND EROSION CONTROL MEASURES IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS. PREPARED BY STATE OF MASSACHUSETTS, LATEST EDITION. IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, AND AS DIRECTED BY THE TOWN OF MASHPÉE LAND USE AGENT. THE CONTRACTOR SHALL KEEP A COPY OF THE GUIDELINES ON-SITE FOR REFERENCE DURING CONSTRUCTION.
- ADDITIONAL AND/OR ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES MAY BE INSTALLED DURING THE CONSTRUCTION PERIOD IF FOUND NECESSARY BY THE CONTRACTOR. OWNER, CIVIL ENGINEER, TOWN OF MASHPÉE LAND USE AGENT, OR GOVERNING AGENCIES. THE CONTRACTOR SHALL CONTACT THE OWNER AND APPROPRIATE GOVERNING AGENCIES FOR APPROVAL IF ALTERNATIVE CONTROLS OTHER THAN THOSE SHOWN ON THE PLANS ARE PROPOSED.
- THE CONTRACTOR SHALL KEEP A SUPPLY OF EROSION CONTROL MATERIAL, HAY BALES, SILT FENCE, JULI MESH, REPAIR KIT, ON-SITE FOR HANDLING AND SUBSTITUTION.
- INSTALL PERIMETER SEDIMENT CONTROLS PRIOR TO CLEARING OR CONSTRUCTION. ALL CONSTRUCTION SHALL BE CONTAINED WITHIN THE LIMIT OF DISTURBANCE, WHICH SHALL BE MARKED WITH SILT FENCE, SAFETY PINNACLES, HAY BALES, BARRIERS, OR OTHER MEANS PRIOR TO CLEARING. CONSTRUCTION ACTIVITY SHALL REMAIN ON THE UPHILL SIDE OF THE SILT FENCE UNLESS WORK IS SPECIFICALLY CALLED FOR ON THE DOWNHILL SIDE OF THE FENCE.
- MINIMIZE LAND DISTURBANCES. SEED AND MULCH DISTURBED AREAS WITH TEMPORARY MIX AS SOON AS PRACTICABLE. 12 FEET MAXIMUM UNSTABILIZED PERIOD USING PERMANENT RYER GRASS AT 100 PERCENT RATE. MULCH ALL CUT AND FILL SLOPES AND SLOPES WILL LOOSE HAY AT A RATE OF 2 TONS PER ACRE. IF NECESSARY, REPLACE FOODS HAY OR SLOPES WITH EROSION CONTROL. BRACKENS OR RICE CLOTH. MODERATELY GRADED AREAS OR SLOPES AND TEMPORARY CONSTRUCTION STAGING AREAS MAY BE HYDROSEED WITH TURFCHEER.
- INSTALL SILT FENCE ACCORDING TO MANUFACTURER'S INSTRUCTION. PARTICULARLY, BURY LOWER EDGE OF FABRIC INTO GROUND. SILT FENCE SHALL BE REPAIRED IMMEDIATELY, AND MOUD SILT SHOULD BE REMOVED IMMEDIATELY BY THE CONTRACTOR. FILLER FABRIC USED SHALL BE REPAIRED OR REPLACED IMMEDIATELY. ALL SLOPES SHALL BE HYDROSEED WITH TURFCHEER.
- SWEEP AFFECTED PORTIONS OF OFF SITE ROADS ONE OR MORE TIMES A DAY OR LESS FREQUENTLY IF TRACKING IS NOT A PROBLEM DURING CONSTRUCTION. OTHER DUST CONTROL MEASURES TO BE USED AS NECESSARY INCLUDING WATERING DOWN OF ROAD SURFACES, USING CALCIUM CHLORIDE, AND COVERING LOADS ON DUMP TRUCKS.
- IMMEDIATELY UPON DISCOVERING UNDESIRABLE CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL RAMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNSTABILIZED VEGETATED AREAS.
- ALL EXCAVATED MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF UTILITY AND STORM PIPE TRENCHES SO AS TO ALLOW THE TRENCH TO INTERCEPT ALL SILT LAID INWARDS.
- CONTRACTOR SHALL ONLY EXCAVATE AS MUCH UTILITY AND STORM PIPE TRENCH WORK AS CAN BE COMPLETED, BACKFILLED AND STABILIZED IN ONE DAY SO AS TO LIMIT THE AMOUNT OF OPEN, UNSTABILIZED BARE EARTH.
- ANY STOCKPILES OF SITE MATERIALS ARE TO BE PERIODICALLY SPRAYED WITH WATER OR CRUSHED STYRENE BUTADIENE COPOLYMER (STYRENE BUTADIENE COPOLYMER) TO PREVENT WIND-BORNE DUST. BOTH INTO AND AROUND THE SITE. THE SPRAY IS NEEDED TO SUPPRESS DUST. TRUCKS HAULING MATERIAL SHALL BE TADED TO PREVENT DUST. THE USE OF WIND-EROSION DUST DURING HIGH WIND SPEEDS (20 TO 30 MPH) SUSPENDED CONSTRUCTION ACTIVITY SHALL BE LIMITED OR CEASED IF DUST CANNOT BE CONTROLLED BY WETTING.
- MAINTAIN ALL PERMANENT AND TEMPORARY SEDIMENT CONTROL DEVICES IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. UPON COMPLETION OF WORK, SWEEP PAVED LOT AND REMOVE ALL TEMPORARY SEDIMENT CONTROLS WHEN AUTHORIZED BY LOCAL GOVERNING AUTHORITY. THE NOT INSTEAD OF TEMPORARILY WITH GOVERNING AUTHORITY RESPONSIBILITY FOR REGULATING STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES PER NPDES.



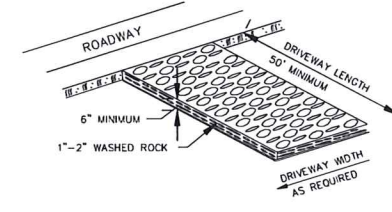
PART NUMBER	DIM. "A"	DIM. "B"	TUBING MATERIAL	CHAIN LINK WIRE GAUGE	DIAMOND SIZE
071050	6'	10'	1-3/8" x 16 Gauge	11.5	2-1/4"
071051	6'	12'	1-3/8" x 16 Gauge	11.5	2-1/4"
071053	8'	10'	1-3/8" x 16 Gauge	11.5	2-1/4"
071072	6'	10'	1-3/8" x 16 Gauge	12.5	2-3/8"
071073	6'	12'	1-3/8" x 16 Gauge	12.5	2-3/8"
071077	6'	10'	1-3/8" x 16 Gauge	11.5	2-3/8"
071078	6'	12'	1-3/8" x 16 Gauge	11.5	2-3/8"



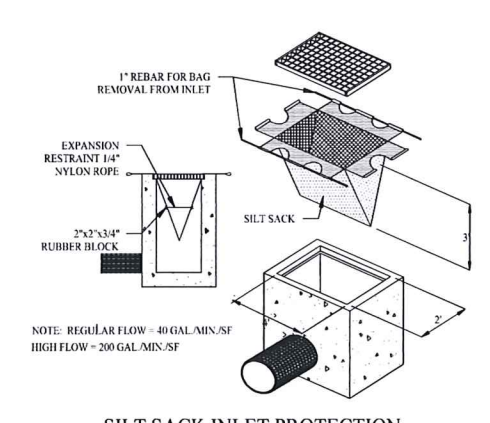
TEMPORARY CONSTRUCTION FENCE SCALE: NTS



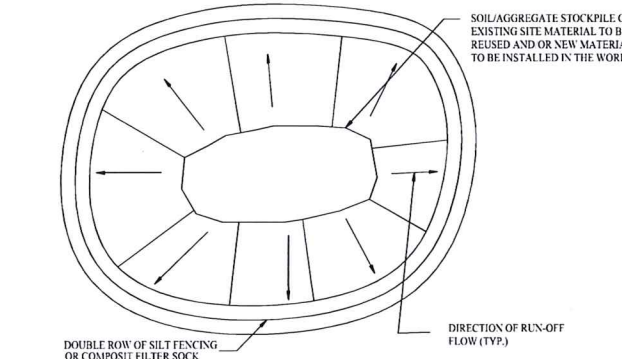
TREE PROTECTION DETAIL SCALE: NTS



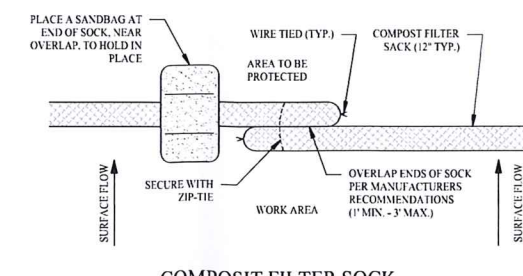
CONSTRUCTION ENTRANCE SCALE: NTS



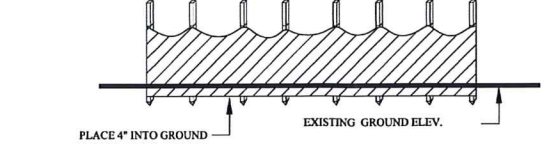
SILT SACK INLET PROTECTION SCALE: NTS



MATERIALS STOCKPILE DETAIL SCALE: NTS



COMPOSITE FILTER SOCK SCALE: NTS

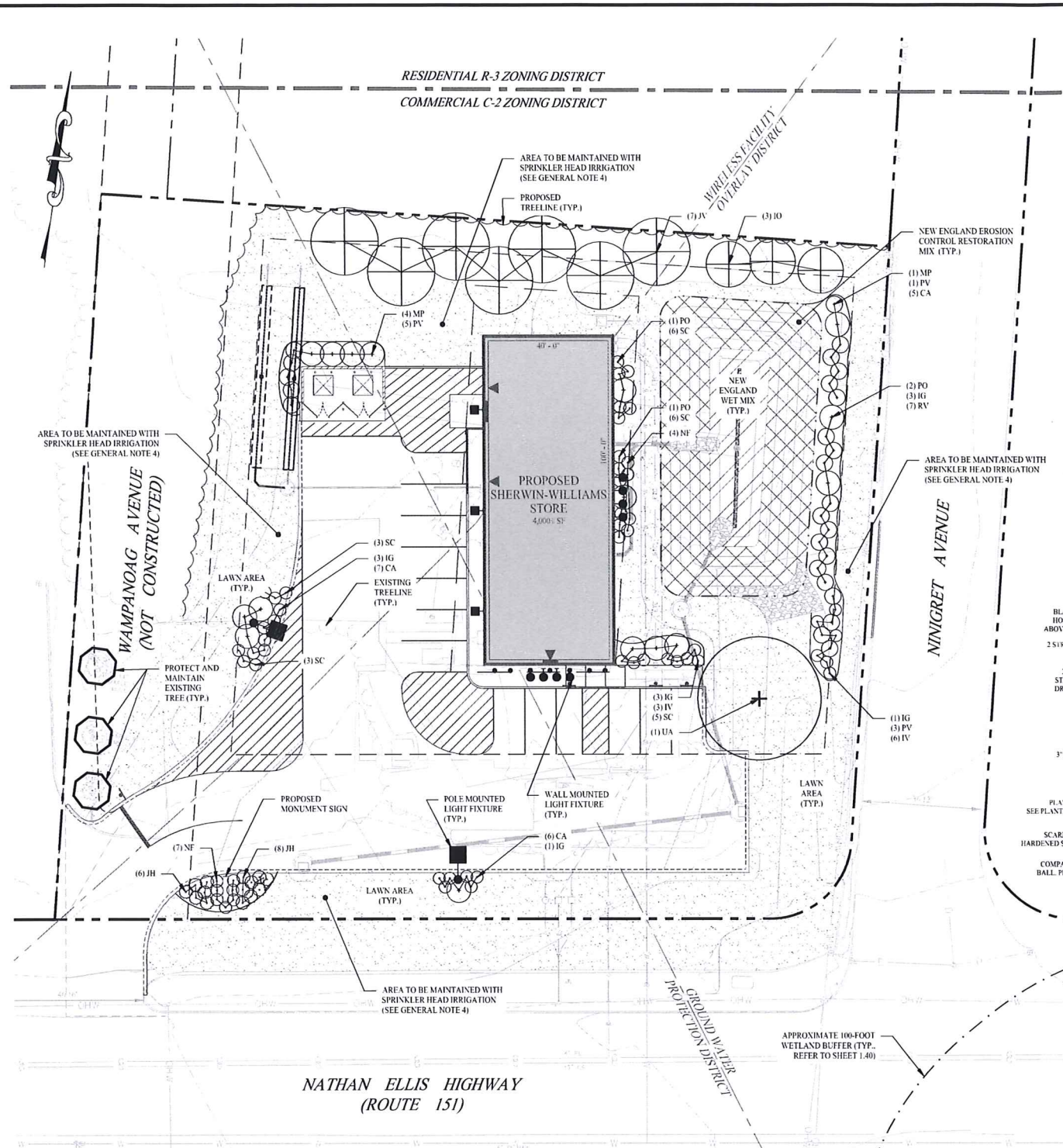


SILT FENCE SCALE: NTS

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Checked By:	STM
Approved By:	KMS
Project #:	21204301
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Project:	PROPOSED SHERWIN-WILLIAMS 413 NATHAN ELLIS HIGHWAY MASHPÉE, MASSACHUSETTS

Sheet Title: SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS  
Sheet #: 2.41



**PROPOSED PLANT SCHEDULE**

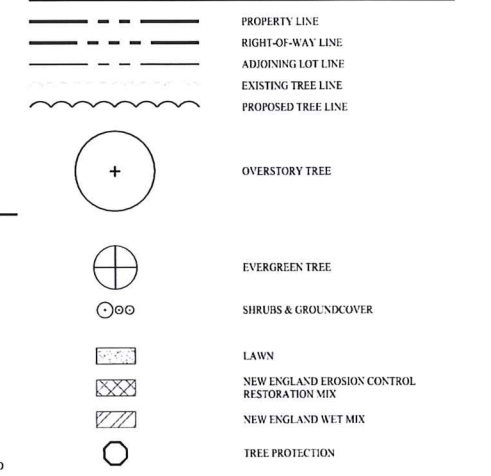
KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
TREES						
HO	3	ILEX OPACA	AMERICAN HOLLY	CONT	6'-8" HT	FULL EXTRA HEAVY
JV	7	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	B&B	6'-8" HT	FULL EXTRA HEAVY
UA	1	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	B&B	5'-2 1/2" CAL.	FULL EXTRA HEAVY
UPLAND SHRUBS						
CA	11	CELTIS ALNIFOLIA	SWEET PEPPERBUSH	CONT	18"-24" HT	FULL EXTRA HEAVY
HO	11	ILEX GLABRA	INKBERRY	CONT	24"-36" HT	FULL EXTRA HEAVY
JV	9	ILEA VIRGINICA 'SPRICH'	SPRICH BRIGNSIA SWEET SPIRE	CONT	18"-24" HT	FULL EXTRA HEAVY
MP	5	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	CONT	24"-36" HT	FULL EXTRA HEAVY
PO	4	PHYSOCARPUS OPIHOLIBUS	COMMON NINEBARK	CONT	24"-36" HT	FULL EXTRA HEAVY
RV	7	RHODODENDRON VISCOSUM	SWAMP AZALEA	CONT	2'-3" HT	FULL EXTRA HEAVY
PERENNIALS						
SF	11	NEPETA FAASSENII 'WALKER'S LOW'	WALKER'S LOW CATMINT	CONT	1 GAL	
GRASSES						
PV	9	PANICUM VIRGATUM	SWITCHGRASS	CONT	1 GAL	
SC	15	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	CONT	1 GAL	

**SEED MIXES**  
**LAWN MIX: PENNINGTON SMART SEED SUN & SHADE**  
 APPLICATION RATE: PER MANUFACTURER  
**NEW ENGLAND WET MIX (NEW ENGLAND WEILAND PLANTS, INC.)**  
 APPLICATION RATE: 1 LB/2,500 S.F.  
**NEW ENGLAND EROSION CONTROL RESTORATION MIX (NEW ENGLAND WEILAND PLANTS, INC.)**  
 APPLICATION RATE: 1 LB/2,500 S.F.

**GENERAL NOTES**

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- CONTRACTOR TO PERFORM ALL SITE WORK PROPOSED HEREON IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITS AND CONDITIONS OF APPROVALS ISSUED FOR THIS PROJECT.
- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON PLAN TITLED "ALTA/SPS LAND TITLE SURVEY OF LAND IN MASHPPEE, MA, PREPARED FOR SOLLI ENGINEERING, I.L.C." BY NORTHEAST SURVEY CONSULTANTS, SCALE 1" = 15', DATED 10/08/2021.
- PROPOSED IRRIGATION SYSTEM TO BE INSTALLED BY A QUALIFIED LANDSCAPE / IRRIGATION CONTRACTOR. LAYOUT OF THE DISTRIBUTION PIPING AND SPRINKLER HEADS ARE NOT SHOWN ON THE PLAN.

**LEGEND**

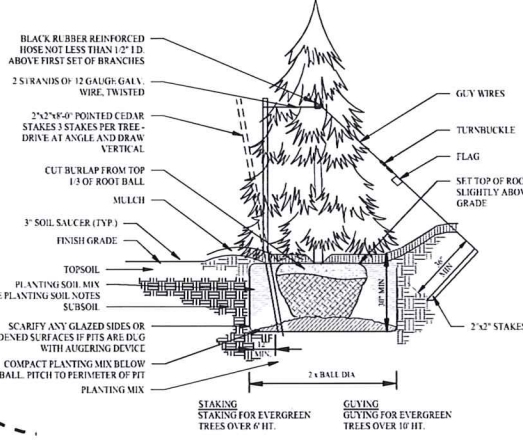


**PLANTING SOIL NOTES**

- ALL PLANTING MIXES SHALL BE PREPARED PRIOR TO DELIVERY TO SITE.
- PLANTING MIX FOR TREES AND SHRUBS SHALL BE AS FOLLOWS:  
 3 PARTS SCREENED TOPSOIL  
 1 PART CLEAN WASHED COARSE SAND  
 1 PART PEAT HUMUS  
 5 LBS. SUPER PHOSPHATE PER CUBIC YARD OF MIX  
 MYCORRHIZAL INOCULANT TO BE MYCOR TREE SAVER TRANSPLANT BY PLANT HEALTH CARE, INC. (1-800-421-9051) OR APPROVED EQUAL.
- TERRASORB AVAILABLE FROM PLANT HEALTH CARE, INC. OR APPROVED EQUAL. SUBMIT CERTIFICATION OF PLANTING MIX FOR TREES AND SHRUBS FROM SOIL DISTRIBUTOR.
- TOPSOIL MIX SHALL INCLUDE:  
 3 PARTS SCREENED TOPSOIL  
 1 PART SAND  
 1 PART HUMUS  
 5 LBS. SUPER PHOSPHATE PER CU. YD. OF MIX
- TOPSOIL:  
 A. PROVIDE A NATURAL, FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH OF UNIFORM COMPOSITION THROUGHOUT AND WITHOUT ADMIXTURES OF SUBSOIL, AND FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS OR OTHER EXTRANEOUS MATTER.  
 B. TOPSOIL SHALL CONTAIN NOT LESS THAN 4% NITROGEN AND NOT MORE THAN 20% ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD.  
 C. MECHANICAL ANALYSIS:  

SCREEN SIZE	% BY WEIGHT PASSING
1"	100
4"	97-100
NO. 200	20-65

  
 D. CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TESTING AND ANALYSIS OF EXISTING AND IMPORTED SOILS. FURNISH A SOIL ANALYSIS MADE BY A QUALIFIED INDEPENDENT SOIL TESTING AGENCY STATING PERCENTAGES OF ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY, AND SAND), DELTERIOUS MATERIAL, PH, AND MINERAL AND PLANT-NUTRIENT CONTENT OF TOPSOIL.  
 E. REPORT SUITABILITY OF TOPSOIL FOR LAWN AND SHRUB PLANTING GROWTH. RECOMMEND QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENT AND ANY LIME, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL.

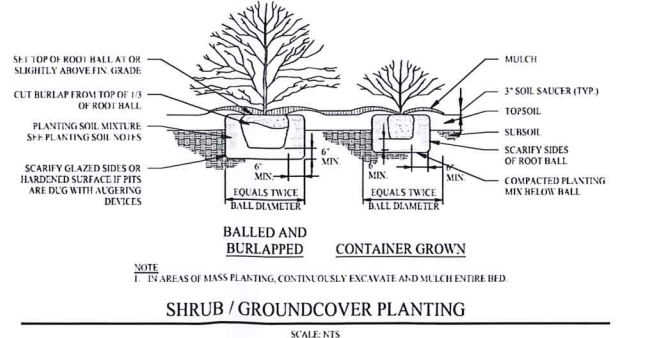


**EVERGREEN TREE PLANTING**

SCALE: NTS

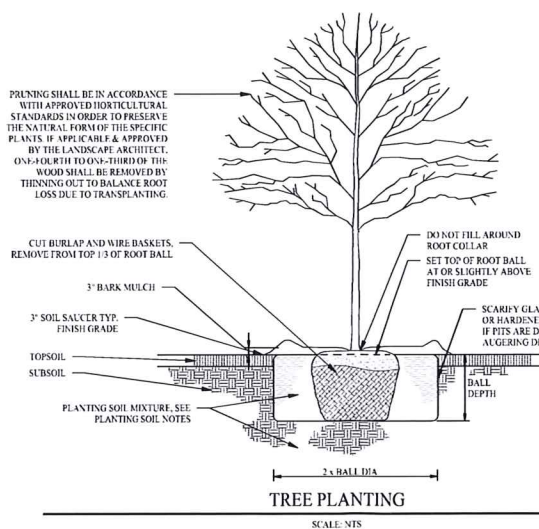
**PLANTING NOTES**

- BE AWARE OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING OPERATIONS. USE CARE TO PROTECT EXISTING UTILITIES FROM DAMAGE. CONTACT "CALL BEFORE YOU DIG" PRIOR TO EXCAVATION.
- ALL PLANTINGS ARE TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR.
- THE CONTRACTOR SHALL BE REQUIRED TO CARRY WORKMENS COMPENSATION INSURANCE AND COMPREHENSIVE GENERAL LIABILITY INSURANCE. CERTIFICATES WILL BE REQUIRED PRIOR TO SIGNING CONTRACTS.
- CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL MAINTAIN A SAFE JOBSITE AT ALL TIMES.
- CONTRACTOR SHALL BE FAMILIAR WITH THE SITE VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED FOR COMPLETING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCAVATED SOIL, BRUSH AND DEBRIS OFF-SITE IN A SAFE AND LEGAL MANNER.
- NOTIFY OWNER OR LANDSCAPE DESIGNER 72 HOURS MINIMUM IN ADVANCE OF STARTING PLANTING OPERATIONS. RECEIVE APPROVAL FOR LAYOUT OF ALL BED LINES AND MATERIAL LOCATIONS PRIOR TO INSTALLATION.
- PROTECT EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION. IT IS THE INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE SPECIFICALLY DESIGNATED FOR REMOVAL. ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLANTING, SEEDING AND TREE WORK WITH OTHER TRADES. RESPECT OTHER TRADES WORK AT ALL TIMES.
- CONTRACTOR IS TO EXERCISE EXTREME CARE DURING THE COURSE OF DEMOLITION AND REMOVALS ANY DAMAGE TO EXISTING FACILITIES, UTILITIES OR TREES TO REMAIN SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE IN KIND.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL AREAS DAMAGED TO PRE-EXISTING CONDITIONS AS A RESULT OF PLANTING OPERATIONS TO OWNERS AND OR LANDSCAPE DESIGNERS APPROVAL.
- VEGETATION TO BE REMOVED, NOT INDICATED ON PLAN, SHALL BE TAGGED IN FIELD BY LANDSCAPE DESIGNER.
- THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REJECT INFERIOR PLANT MATERIALS AND SUBSTITUTIONS. THE LANDSCAPE DESIGNER IS WILLING TO MAKE TWO TRIPS TO SUPPLIERS TO TAG, REVIEW AND APPROVE MATERIALS. PREVIOUSLY UNAPPROVED MATERIALS MAY BE REJECTED AT THE SITE. MINIMALLY, ALL MATERIALS WILL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z601-2004) OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT, ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE DESIGNER DURING, AND AT THE END OF THE GUARANTEE PERIOD. WARRANTY REPLACEMENT WILL BE PROVIDED AT NO COST TO THE OWNER AND INCLUDE MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING REPLACEMENT OF WARRANTY MATERIALS.
- WHEN THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES SHOWN ON THE PLAN LIST & THE PLAN, USE THE QUANTITIES FROM THE PLAN.
- PERENNIALS, GROUNDCOVERS & GRASSES TO BE FIELD LOCATED BY LANDSCAPE DESIGNER. COORDINATE TO NOTIFY LANDSCAPE DESIGNER AT LEAST 72 HOURS IN ADVANCE OF EXPECTED INSTALLATION DATE. ON THAT DATE ALL BEDS SHALL BE PREPARED & ALL PLANT MATERIAL SHALL BE ON SITE.
- PROVIDE A MINIMUM 6" TOPSOIL FOR ALL DISTURBED AREAS. SUBMIT SAMPLE OF TOPSOIL AND SOIL TEST RESULTS FOR LANDSCAPE DESIGNER APPROVAL PRIOR TO DELIVERING TO SITE.
- MULCH ALL BEDS SHOWN AS CONTIGUOUS WITH A 3" MINIMUM OF DOUBLE SHREDDED CEDAR BARK MULCH. SAMPLE TO BE SUBMITTED TO LANDSCAPE DESIGNER FOR APPROVAL.
- ALL PLANT MATERIALS TO BE SOURCED FROM LOCALLY GROWN GROWERS.



**SHRUB / GROUNDCOVER PLANTING**

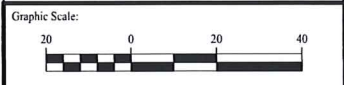
SCALE: NTS



**TREE PLANTING**

SCALE: NTS

Rev. #:	Date	Description
2	01/10/22	Planning Board Comments
1	12/01/21	Plan / Design Review Committee

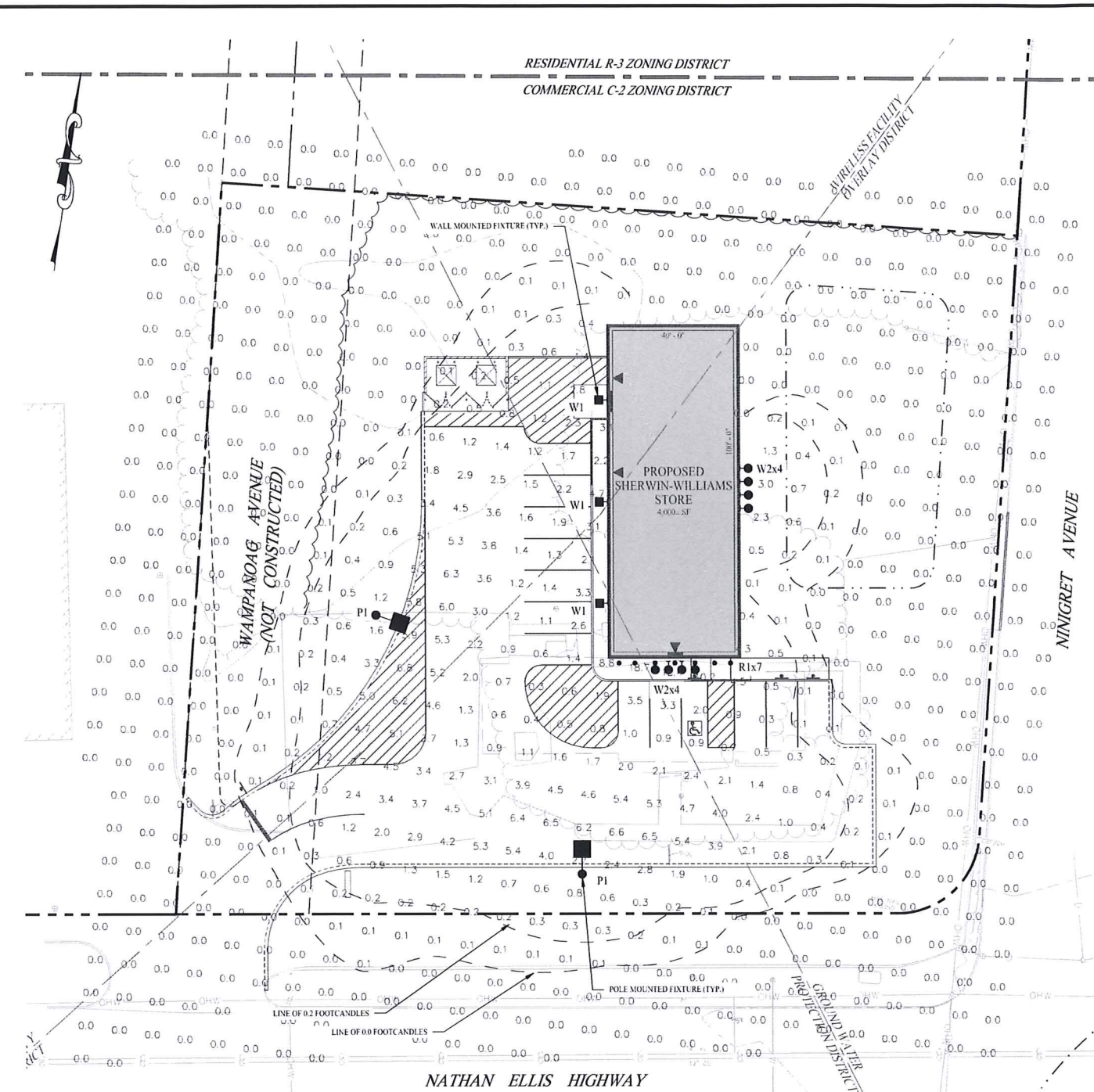


**SOLLI ENGINEERING**  
 501 Main Street, Worcester, CT 06094 | P: (203) 840-5455 | F: (203) 858-9695  
 11 Vandorhilt Ave., Newcan, MA 02052 | T: (781) 352-5491 | F: (203) 858-9695

Drawn By: CMH  
 Checked By: MFB  
 Approved By: KMS  
 Project #: 21204301  
 Plan Date: 11/01/21  
 Scale: 1" = 20'

**PROPOSED SHERWIN-WILLIAMS**  
 413 NATHAN ELLIS HIGHWAY  
 MASHPPEE, MASSACHUSETTS

Sheet Title: LANDSCAPE PLAN  
 Sheet #: 2.61



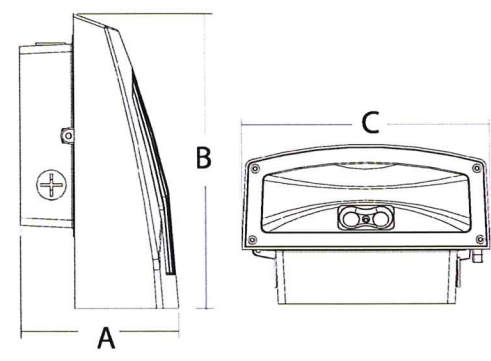
**LIGHTING NOTES**

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
2. CONTRACTOR TO PERFORM ALL SITE WORK PROPOSED HEREON IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL PERMITS AND CONDITIONS OF APPROVALS ISSUED FOR THIS PROJECT.
3. EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON PLAN TITLED "ALTA/SPS LAND TITLE SURVEY OF LAND IN MASHPEE, MA, PREPARED FOR SOLLI ENGINEERING, LLC, BY NORTHEAST SURVEY CONSULTANTS, SCALE 1" = 15', DATED 10/08/2021
4. ALL LIGHT FIXTURES TO BE MOUNTED AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
5. ALL WORK AND RELATED MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.

**LEGEND**

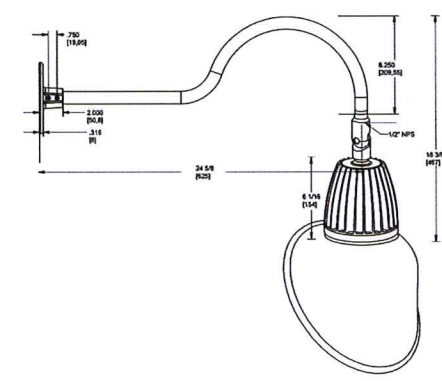
- 0.1 0.1 0.1
- 0.1 0.1 0.0
- 0.1 0.0 0.0
- PROPOSED FOOTCANDLES
- PROPOSED WALL MOUNTED FIXTURE
- PROPOSED POLE MOUNTED FIXTURES
- PROPOSED RECESSED FIXTURE
- LINE OF 0.0 & 0.2 FOOTCANDLES

**SG1**

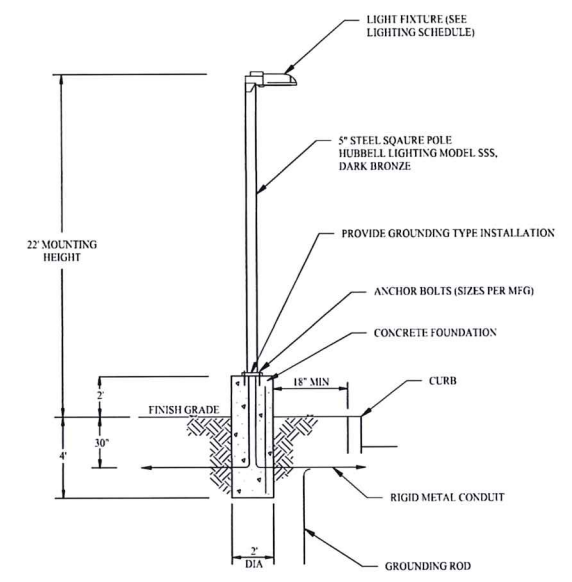


A B C WEIGHT  
4.19" 7.80" 6.61" 2.5 lbs.

**PROPOSED WALL MOUNTED LIGHT FIXTURE - W1**  
HUBBELL SLING SERIES, POWDER COATED ALUMINUM, DARK BRONZE  
SCALE: NTS

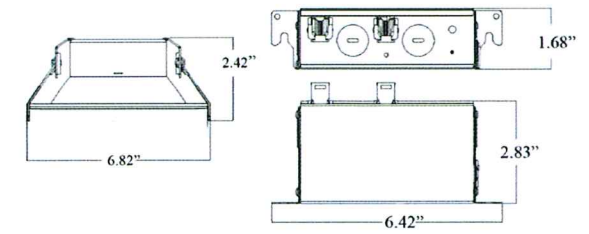


**PROPOSED WALL LIGHT FIXTURE - W2**  
RAB LIGHTING - MODEL GNILED3NRACB  
SCALE: NTS

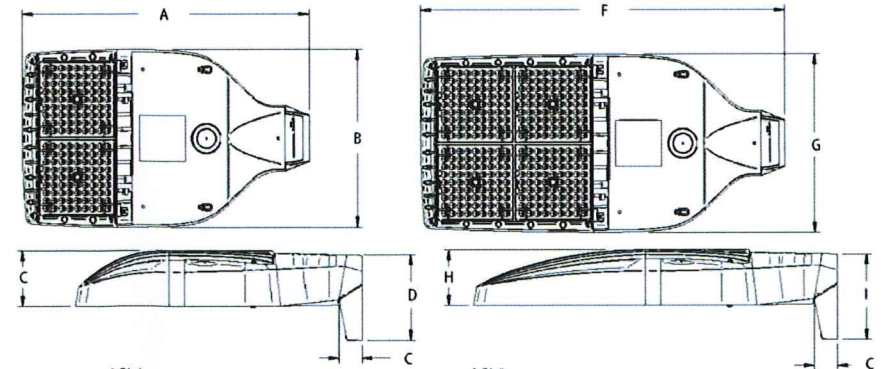


**PROPOSED LIGHT POLE - P1**  
SCALE: NTS

QTY	CALLOUT	SYMBOL	FIXTURE DESCRIPTION	MODEL	NOTES	LUMENS
3	W1	■	WALL MOUNTED FIXTURE	HUBBELL LIGHTG SLING SERIES MODEL SG1-20-4K7-FT	21W 4K LED, 14" MOUNTING HEIGHT	2,310
8	W2	●	CANOPY MOUNTED FIXTURE	RAB GNILED3NRACB	13W 4K LED, 15" MOUNTING HEIGHT	388
7	R1	●	CANOPY MOUNTED FIXTURE	COOPER LIGHTING HALLO LCR6159F5E010W 27K	16.4W 27K LED, 10" MOUNTING HEIGHT	1,500
2	P1	■	POLE MOUNTED FIXTURE	HUBBELL LIGHTING AIRO MICRO STRIKE SERIES, MODEL ASL2-320L-210-4K7-3BC, POWDER COATED ALUMINUM, DARK BRONZE	113W 4K LED, TYPE III DISTRIBUTION, 22" MOUNTING HEIGHT	17,256



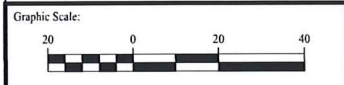
**PROPOSED RECESSED LIGHT FIXTURE - R1**  
COOPER LIGHTING - MODEL HALLO  
SCALE: NTS



A	B	C	D	E	F	G	H	I	ASL1 EPA@0°	ASL2 EPA@0°	ASL1 w/HSS	ASL2 w/HSS
18.9"	11.7"	3.7"	5.65"	1.5"	24.0"	11.7"	3.7"	5.62"	.46 ft. <sup>2</sup>	.56 ft. <sup>2</sup>	.73 ft. <sup>2</sup>	1.01 ft. <sup>2</sup>
480mm	297mm	94mm	144mm	38mm	610mm	297mm	94mm	143mm	.14 m <sup>2</sup>	.17 m <sup>2</sup>	.22 m <sup>2</sup>	.31 m <sup>2</sup>

**PROPOSED RECESSED LIGHT FIXTURE - P1**  
HUBBELL LIGHTING - MODEL AIRO MICRO STRIKE  
SCALE: NTS

Rev. #:	Date	Description



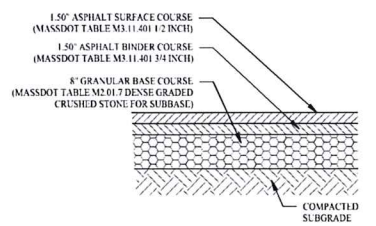
**SOLLI ENGINEERING**  
501 Main Street, Worcester, CT 06068 | (203) 850-5455 | F: (203) 850-9695  
11 Vanderbilt Ave., Newwood, MA 02062 | T: (781) 355-8199 | F: (203) 850-9695

Drawn By: FLO  
Checked By: MFB  
Approved By: KMS  
Project #: 21204301  
Plan Date: 11/01/21  
Scale: 1" = 20'

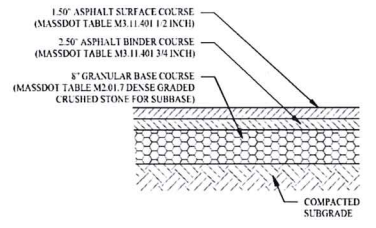
**PROPOSED SHERWIN-WILLIAMS**  
413 NATHAN ELLIS HIGHWAY  
MASHPEE, MASSACHUSETTS

Sheet Title: LIGHTING PLAN  
Sheet #: 2.71

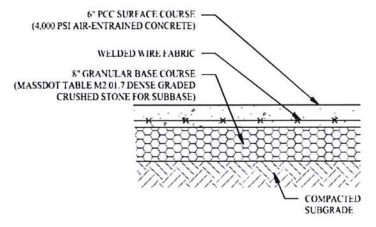
Jan 10, 2022 - 2:50pm - 5am  
 P:\V\F\Projects\2021\21204301 - 413 Nathan Ellis Hwy - Mashpee, MA\Draws\21204301-2.71.dwg



**STANDARD DUTY BITUMINOUS CONCRETE**



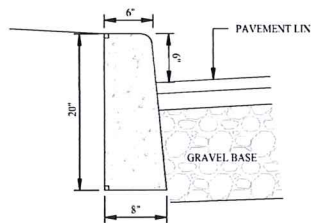
**HEAVY DUTY BITUMINOUS CONCRETE**



**STANDARD DUTY CONCRETE**

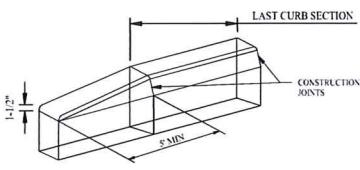
**PAVING DETAILS**

SCALE: NTS



**CONCRETE CURB DETAIL**

SCALE: NTS

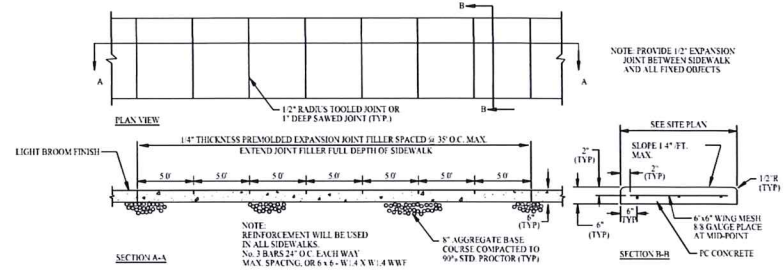


**CURB TRANSITION DETAIL**

SCALE: NTS

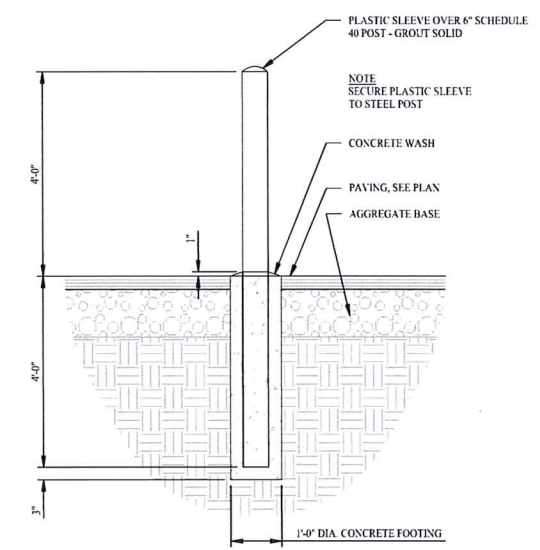
- NOTES**
- POUR TO EXCAVATED BOTTOM OR WELL COMPACTED BANK RUN GRAVEL. BACK OF CURB IS STRAIGHT. FACE OF CURB IS TAPERED.
  - CLASS "A" CONCRETE-3,000 PSI MINIMUM. EXPANSION JOINTS EVERY 10 FEET. IN NO CASE SHALL THERE BE LESS THAN 6' BETWEEN JOINTS.

- NOTES**
- CONCRETE SHALL BE 3,000 PSI AIR ENTRAINED AT A 4" SLUMP.
  - TRANSVERSE CONTROL JOINTS 14" WIDE BY 3" DEEP. TO BE FORMED EVERY 4'.
  - EXPANSION JOINTS WITH 1/2" PREMIXED MATERIAL SHALL BE PLACED EVERY 20' TO FULL DEPTH.
  - WEATHER PROTECTION AND CURING COMPOUNDS SHALL BE USED IN ACCORDANCE WITH UTILITY SPECIFICATIONS.
  - ALL EDGES SHALL BE ROUNDED WITH A 1/4" EDGE TOOL.



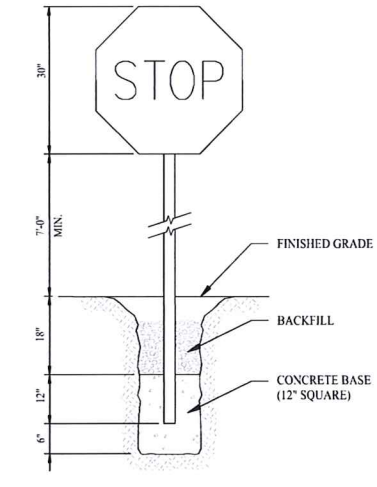
**CONCRETE SIDEWALK**

SCALE: NTS



**CONCRETE BOLLARD DETAIL**

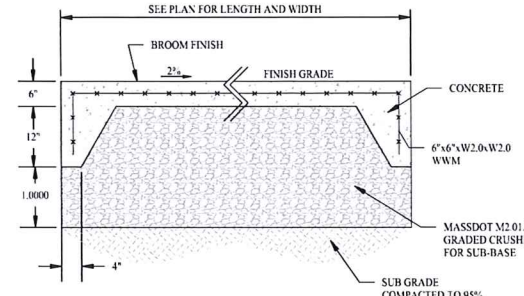
SCALE: NTS



**STOP SIGN DETAIL**

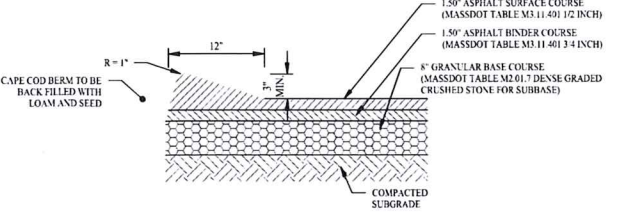
SCALE: NTS

**NOTE:** CONSTRUCT SIGN IN ACCORDANCE WITH DOT SPECIFICATIONS.



**CONCRETE PAD DETAIL**

SCALE: NTS



**CAPE COD BERM (MONOLITHIC)**

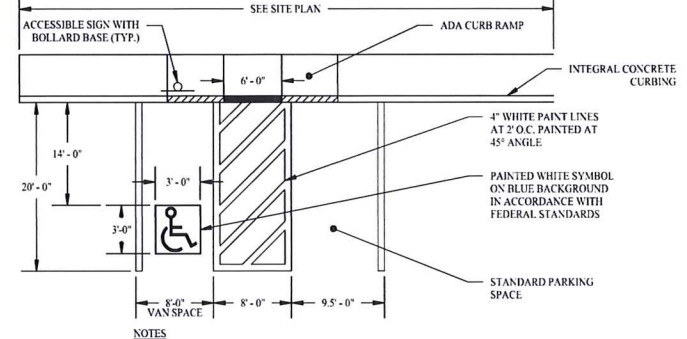
SCALE: NTS

- NOTES**
- CONSTRUCT PER ADA STANDARDS.
  - REFER TO PLANS FOR ADJACENT SLOPES.
  - THE TOP SURFACE OF THE BERM SHALL BE MINIMUM 1:50.
  - RAMPS SHALL BE CONSTRUCTED WITH SLOPES NO GREATER THAN 1:12.

**SECTION A-A'**

**ADA RAMP IN SIDEWALK DETAIL**

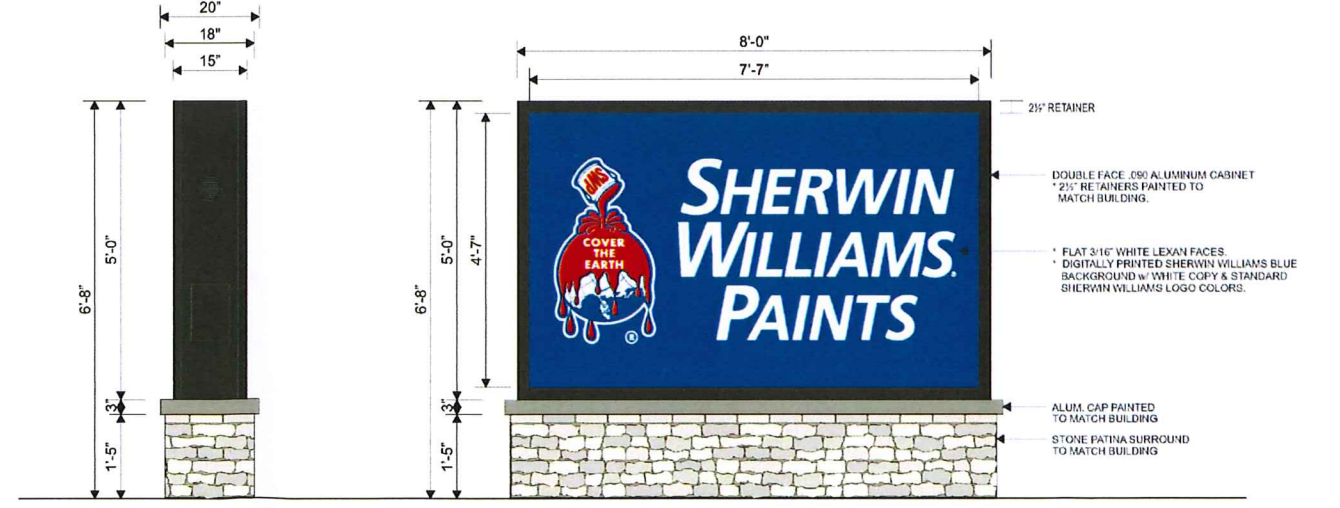
SCALE: NTS



**ACCESSIBLE PARKING SPACE DETAIL**

SCALE: NTS

- NOTES**
- SEE SITE PLAN FOR ACCESSIBLE SPACE LOCATIONS.
  - PROVIDE 2 COATS OF PAINT ON ALL SURFACES.



**MONUMENT SIGN DETAIL**

SCALE: NTS

DETAILS PROVIDED BY SHERWIN-WILLIAMS

Rev. #	Date	Description
1	01/10/22	Planning Board Comments

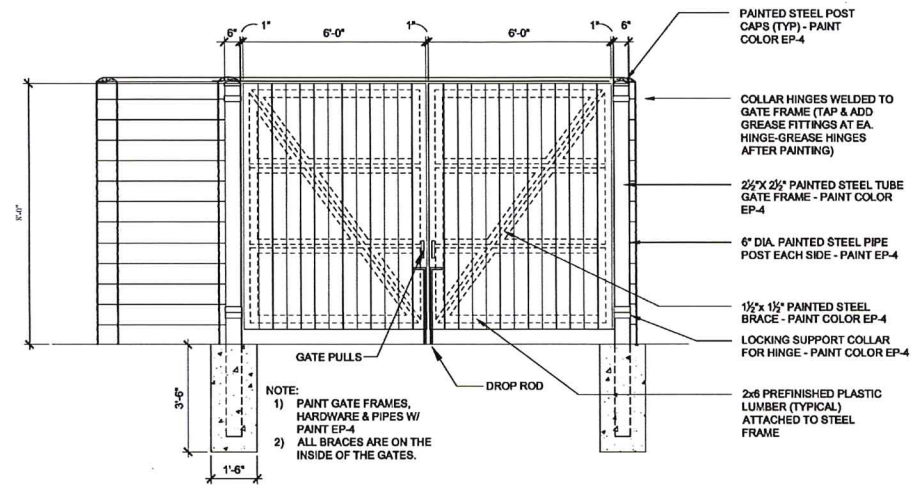
**SOLLI ENGINEERING**  
 501 Main Street, Norwood, CT 06468 | (203) 840-5455 | (203) 840-9695  
 11 Vanderbilt Ave., Newwood, MA 02062 | (781) 352-8419 | (203) 840-9695

Drawn By: CMH  
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 Approved By: KMS  
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 Plan Date: 11/01/21  
 Scale: NTS



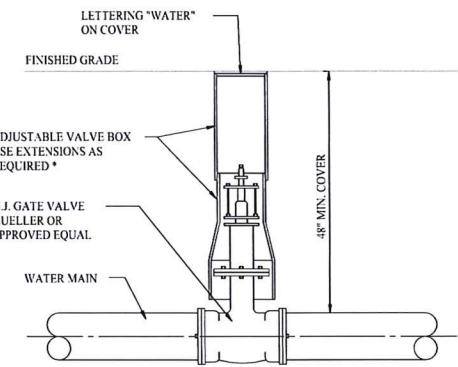
**PROPOSED SHERWIN-WILLIAMS**  
 413 NATHAN ELLIS HIGHWAY  
 MASHPEE, MASSACHUSETTS

Sheet Title: CONSTRUCTION DETAILS  
 Sheet #: 3.01



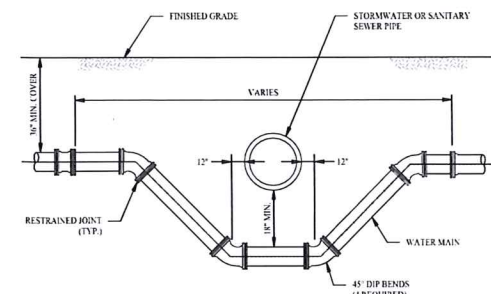
DUMPSTER GATE/ ENCLOSURE

SCALE: NTS



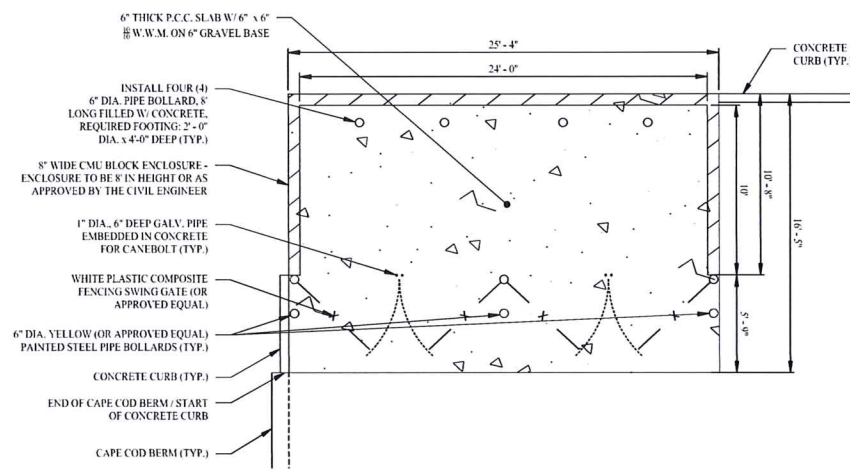
TYPICAL GATE VALVE AND VALVE BOX DETAIL

SCALE: NTS



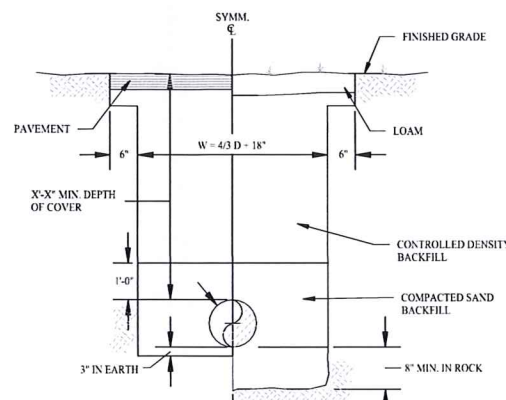
WATER MAIN CROSSING DETAIL

SCALE: NTS



DUMPSTER ENCLOSURE

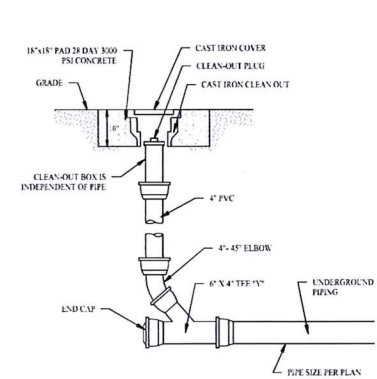
SCALE: NTS



NOTE:  
TRENCH LINE PIPING AND SERVICE PIPING > 3" I.D. TO BE CLASS S3 DUCTILE IRON WITH RESTRAINED JOINTS 40 FT. EACH SIDE OF ALL FITTINGS, ELBOWS AND APPURTENANCES DOMESTIC PIPING < 3" I.D. TO BE TYPE K COPPER PER ASTM B 88.

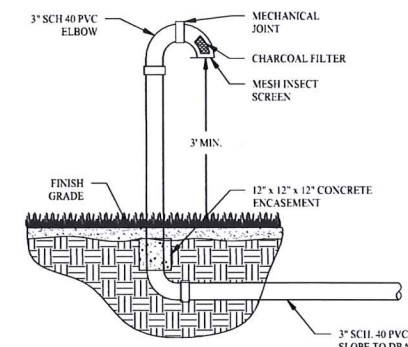
TYPICAL WATER MAIN AND SERVICE TRENCH

SCALE: NTS



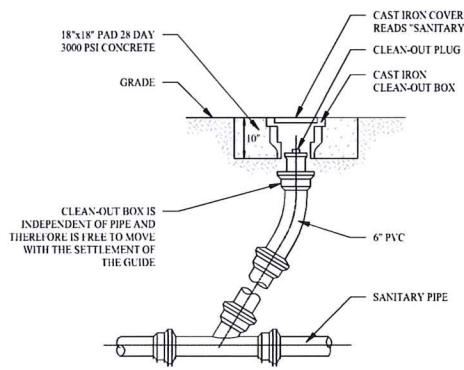
STORM CLEANOUT DETAIL

SCALE: NTS



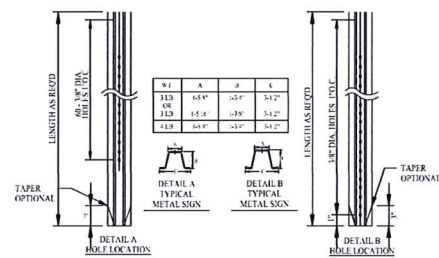
SANITARY VENT DETAIL

SCALE: NTS



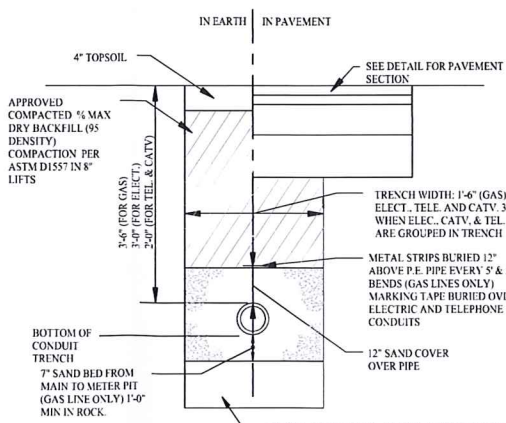
SANITARY CLEANOUT

SCALE: NTS



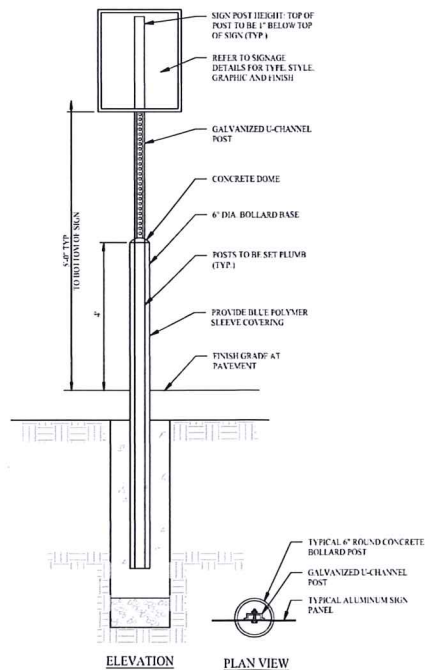
TYPICAL METAL SIGN POSTS

SCALE: NTS



ELECTRICAL, TELEPHONE AND GAS TRENCH

SCALE: NTS



SIGN MOUNTING FOR BOLLARD SIGN

SCALE: NTS

Rev. #	Date	Description
1	01/10/22	Planning Board Comments

**SOLLI ENGINEERING**

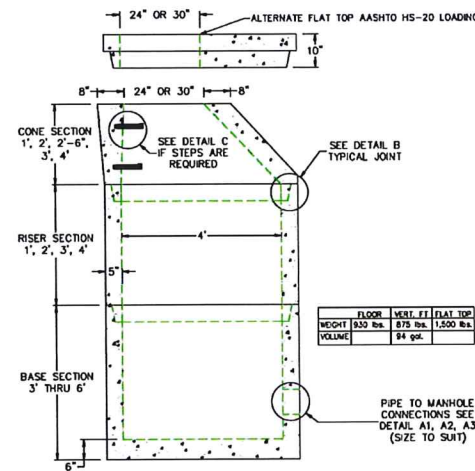
501 Main Street, Worcester, CT 06068 | (203) 846-5455 | F: (203) 846-9695  
 11 Vanderbilt Ave., Newswold, MA 02062 | T: (781) 352-8491 | F: (203) 846-9695

Drawn By: CMH  
 Checked By: CJB  
 Approved By: KMS  
 Project #: 21204301  
 Plan Date: 11/01/21  
 Scale: NTS

KEVIN M. SOLLI  
 REGISTERED PROFESSIONAL ENGINEER  
 MA 51952

PROPOSED  
**SHERWIN-WILLIAMS**  
 413 NATHAN ELLIS HIGHWAY  
 MASHPEE, MASSACHUSETTS

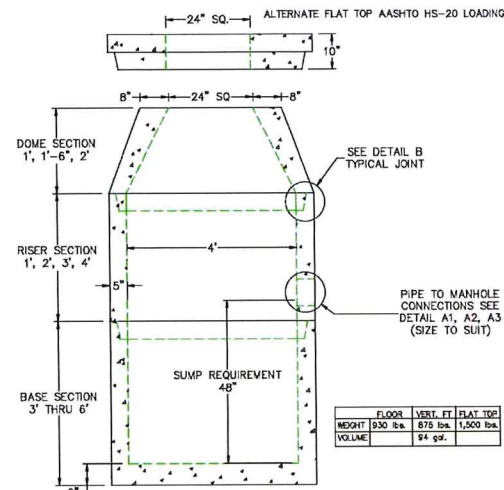
Sheet Title: CONSTRUCTION DETAILS	Sheet #: 3.02
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- DESIGN NOTES:
1. MANUFACTURED TO MEET OR EXCEED: ASTM C-478 & AASHTO M 199 SPECS.
  2. CONCRETE = 5,000 PSI. MINIMUM CEMENT PER ASTM C-478 (6.1)
  3. REINFORCED STEEL CONFORMS TO LATEST ASTM A 185 SPECIFICATIONS.
  4. 0.12 SQ. IN / LINEAL FT. AND 0.12 SQ. IN (BOTH WAYS) BASE BOTTOM
  5. STEEL REINFORCEMENT TO MEET OR EXCEED AASHTO HS-20 LOADING
  6. MANHOLE STEPS MEET LATEST OSHA REGULATION 29 CFR1910.27, SECTION 16 OF ASTM SPECIFICATION C478 AND SECTION 10 OF ASTM SPECIFICATION C497
  7. BUTYL RUBBER JOINT SEALANT PER ASTM C-990 & AASHTO M-198
  8. WATER PROOFING PER CONTRACT SPECS. AS REQUIRED

4' DIAMETER, DRAINAGE MANHOLE

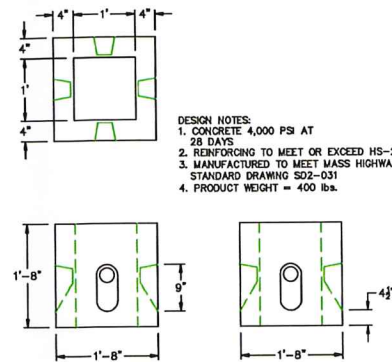
SCALE: NTS TAKEN FROM SCITUATE CONCRETE PRODUCTS



- DESIGN NOTES:
1. MANUFACTURED TO MEET OR EXCEED: ASTM C-478 & AASHTO M 199 SPECS.
  2. CONCRETE = 4,000 PSI. MINIMUM CEMENT PER ASTM C-478 (6.1)
  3. REINFORCED STEEL CONFORMS TO LATEST ASTM A 185 SPECIFICATIONS.
  4. 0.12 SQ. IN / LINEAL FT. AND 0.12 SQ. IN (BOTH WAYS) BASE BOTTOM
  5. STEEL REINFORCEMENT TO MEET OR EXCEED AASHTO HS-20 LOADING
  6. MANHOLE STEPS MEET LATEST OSHA REGULATION 29 CFR1910.27, SECTION 16 OF ASTM SPECIFICATION C478 AND SECTION 10 OF ASTM SPECIFICATION C497
  7. BUTYL RUBBER JOINT SEALANT PER ASTM C-990 & AASHTO M-198

4' DIAMETER, CATCH BASIN WITH 4' SUMP

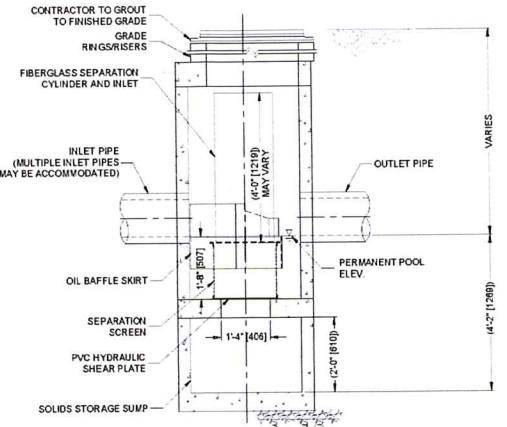
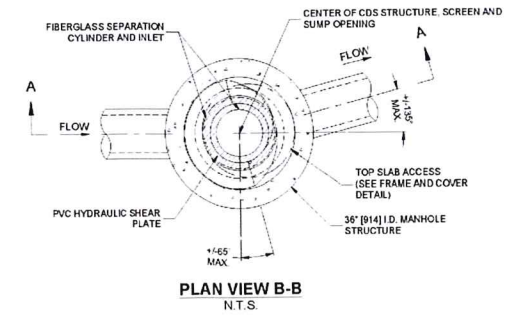
SCALE: NTS TAKEN FROM SCITUATE CONCRETE PRODUCTS



- DESIGN NOTES:
1. CONCRETE 4,000 PSI AT 28 DAYS
  2. REINFORCING TO MEET OR EXCEED HS-20
  3. MANUFACTURED TO MEET MASS HIGHWAY STANDARD DRAWING S02-031
  4. PRODUCT WEIGHT = 400 lbs.

12" x 12" PULLBOX DETAIL

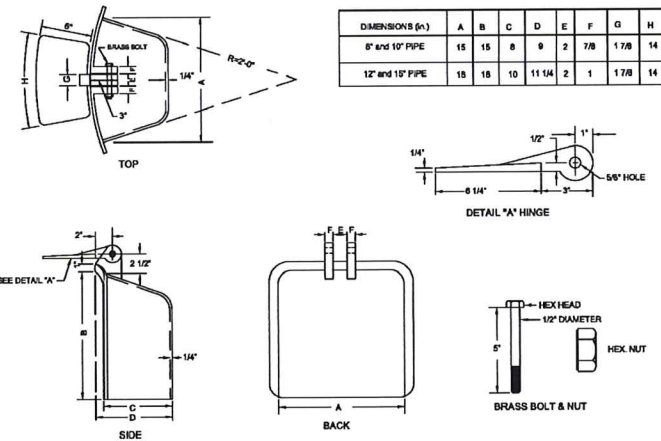
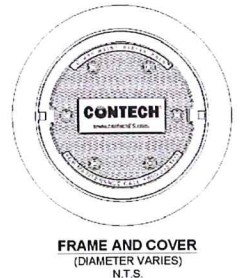
SCALE: NTS DETAIL GATHERED FROM SCITUATE CONCRETE PRODUCTS



ELEVATION A-A

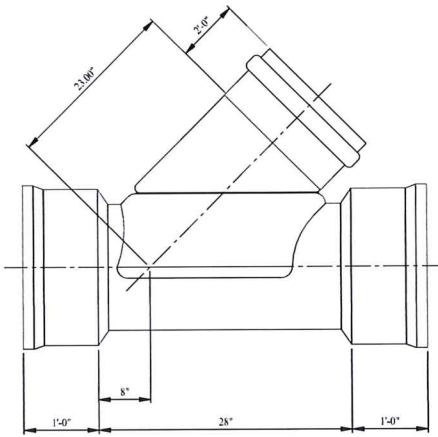
HYDRODYNAMIC SEPARATOR (CONTECH CDS1515-3-C OR APPROVED EQUAL)

SCALE: NTS PROVIDED BY CONTECH



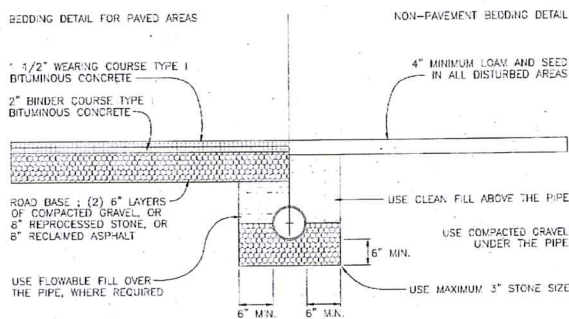
HOODED OUTLET

SCALE: NTS DETAIL PROVIDED BY MASSDOT



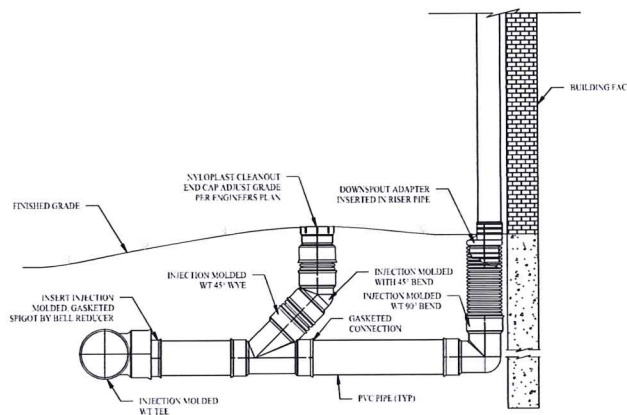
12 x 12 HP WYE NYLOPLAST DETAIL

SCALE: NTS



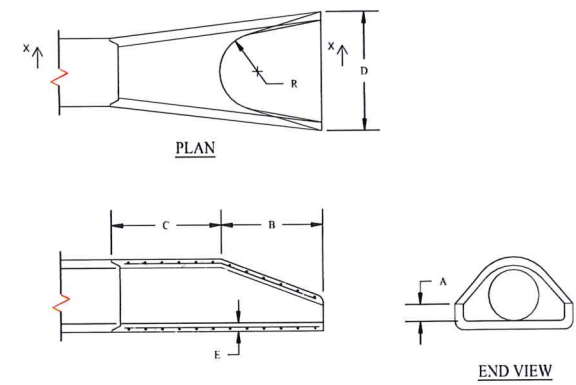
STORM / SEWER PIPE BEDDING DETAIL

SCALE: NTS DETAILS PROVIDED BY TOWN OF MASHPEE



DOWNSPOUT CONNECTION DETAIL

SCALE: NTS DETAIL PROVIDED BY ADS



FLARED END SECTION

DIA	A	B	C	D	E	R
15"	6"	2'-3"	3'-10"	2'-6"	2 1/4"	11"
18"	9"	2'-3"	3'-10"	3'-0"	2 1/2"	12"
24"	9 1/2"	3'-7 1/2"	2'-6"	4'-0"	3"	14"
30"	12"	4'-6"	1'-7 3/4"	5'-0"	3 1/2"	15"
36"	15"	5'-3"	2'-10 3/4"	6'-0"	4"	20"
42"	21"	5'-3"	2'-11"	6'-6"	4 1/2"	22"
48"	24"	6'-0"	2'-2"	7'-0"	5"	22"
54"	27"	5'-5"	2'-11"	7'-6"	5 1/2"	24"
60"	30"	5'-0"	3'-3"	8'-0"	6"	24"

- NOTE:
1. CULVERT END (FLARED END) SECTIONS SHALL CONFORM TO CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FORM 814A SECTION: M.08.01-22.

SCALE: NTS

Rev. #	Date	Description

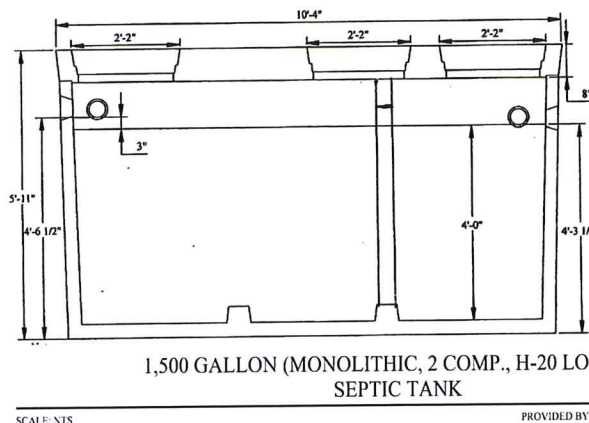
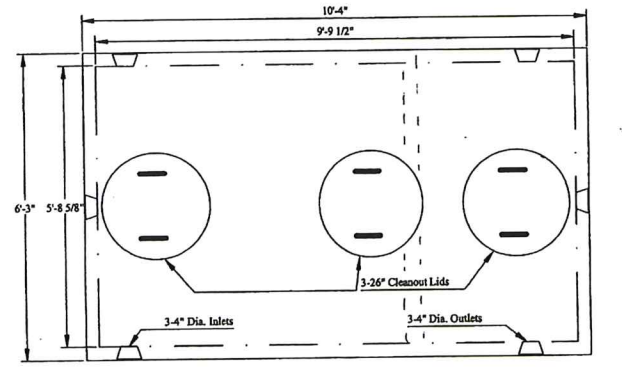
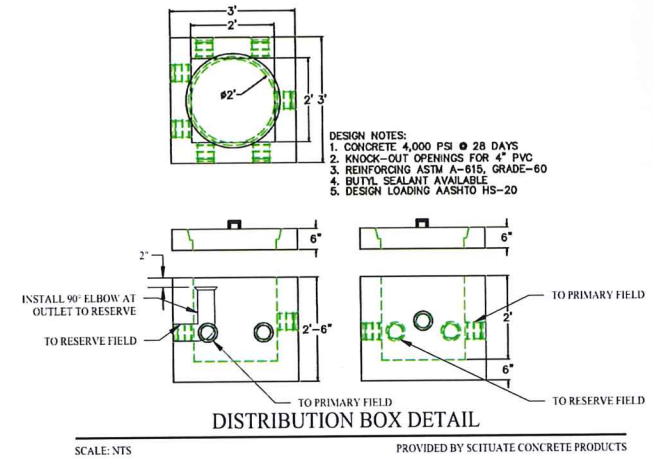
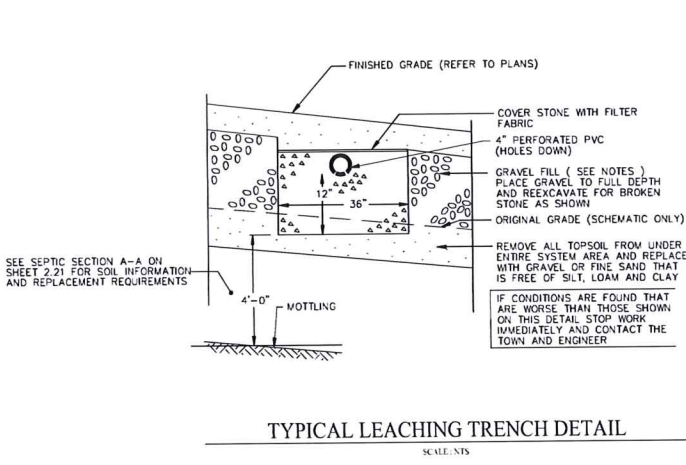
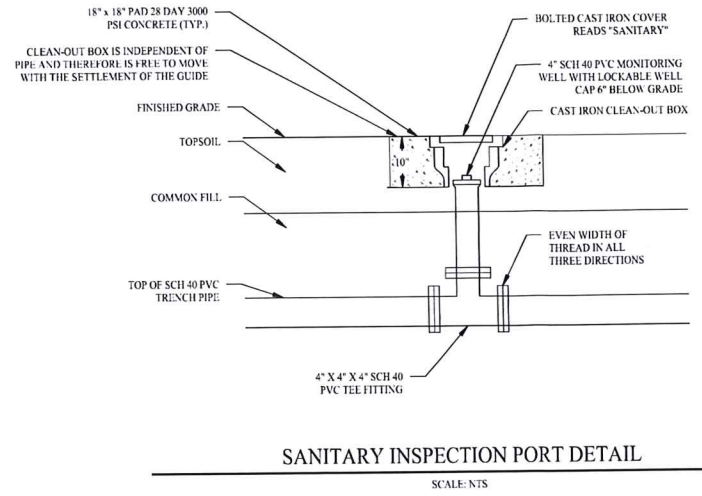
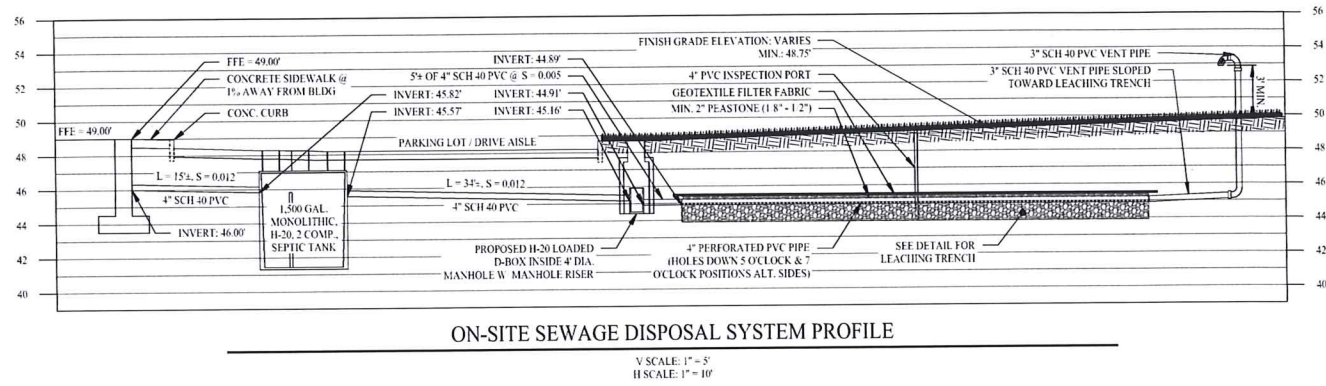
**SOLLI ENGINEERING**  
 501 Main Street, Mashpee, MA 01948  
 11 Vandalia Ave., Newbury, MA 01857

Drawn By: CMH  
 Checked By: CJB  
 Approved By: KMS  
 Project #: 21204301  
 Plan Date: 11/01/21  
 Scale: NTS

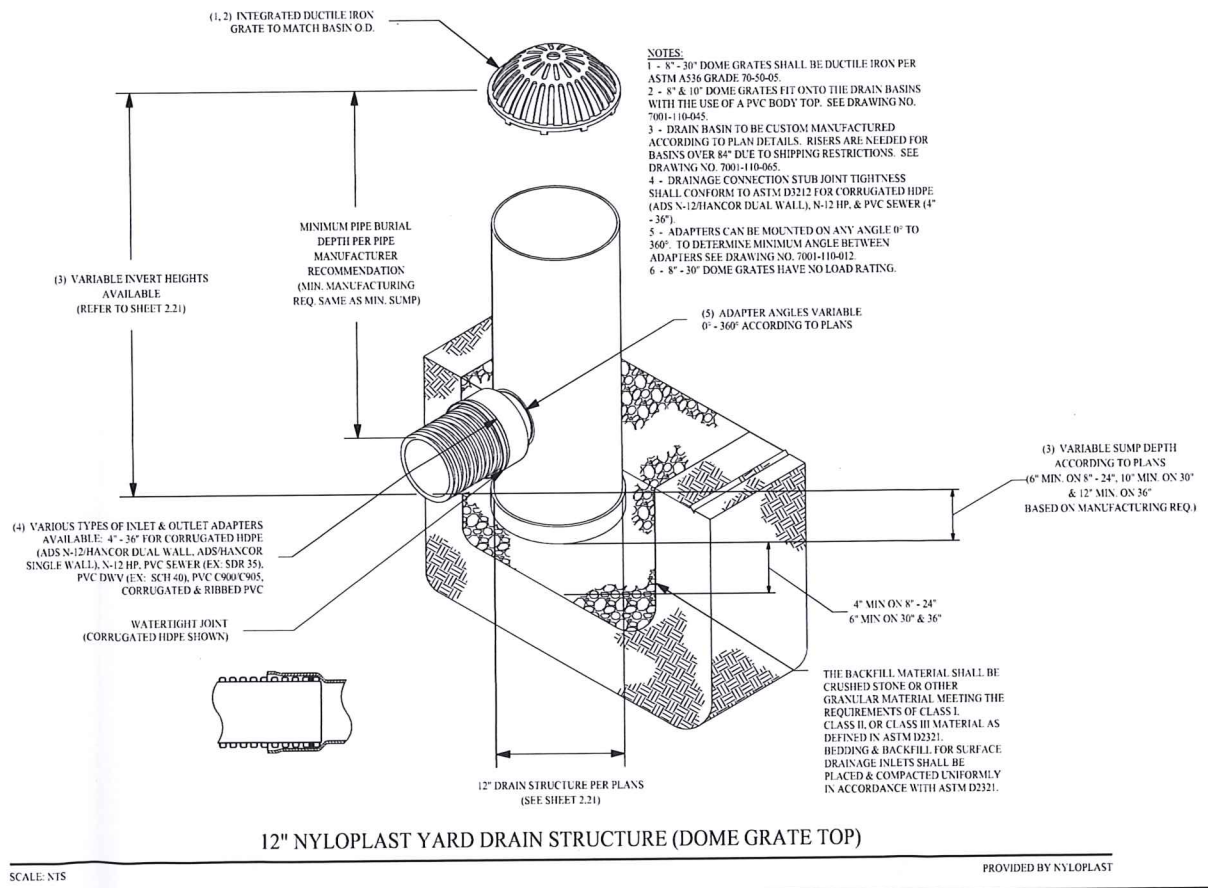
**PROPOSED SHERWIN-WILLIAMS**  
 413 NATHAN ELLIS HIGHWAY  
 MASHPEE, MASSACHUSETTS

Sheet Title: CONSTRUCTION DETAILS  
 Sheet #: 3.03





- Notes:**  
 1. Concrete 4,000 PSI Minimum After 28 Days  
 2. Cement, Portland Type II or III.  
 3. Reinforcement ASTM A615  
 4. H-20 Load  
 5. Joints Sealed With Butyl Rubber



- NOTES:**  
 1 - 8" - 30" DOME GRATES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.  
 2 - 8" & 10" DOME GRATES FIT ONTO THE DRAIN BASINS WITH THE USE OF A PVC BODY TOP. SEE DRAWING NO. 7001-110-045.  
 3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.  
 4 - DRAINAGE CONNECTION STUD JOINT TIGHTNESS SHALL CONFORM TO ASTM D3122 FOR CORRUGATED HDPE (ADS N-12/HANCOR DUAL WALL, N-12 HP, & PVC SEWER (4" - 36").  
 5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 360° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.  
 6 - 8" - 30" DOME GRATES HAVE NO LOAD RATING.

Rev. #:	Date	Description
2	12/28/21	Peer Review Response to Comments
1	12/17/21	BOH Response to Comments

**SOLLI ENGINEERING**  
 501 Main Street, Worcester, CT 06095 | (203) 850-5455 | (203) 850-9695  
 11 Vanderbil Avenue, Newwood, MA 02052 | (781) 352-8491 | (203) 850-9695

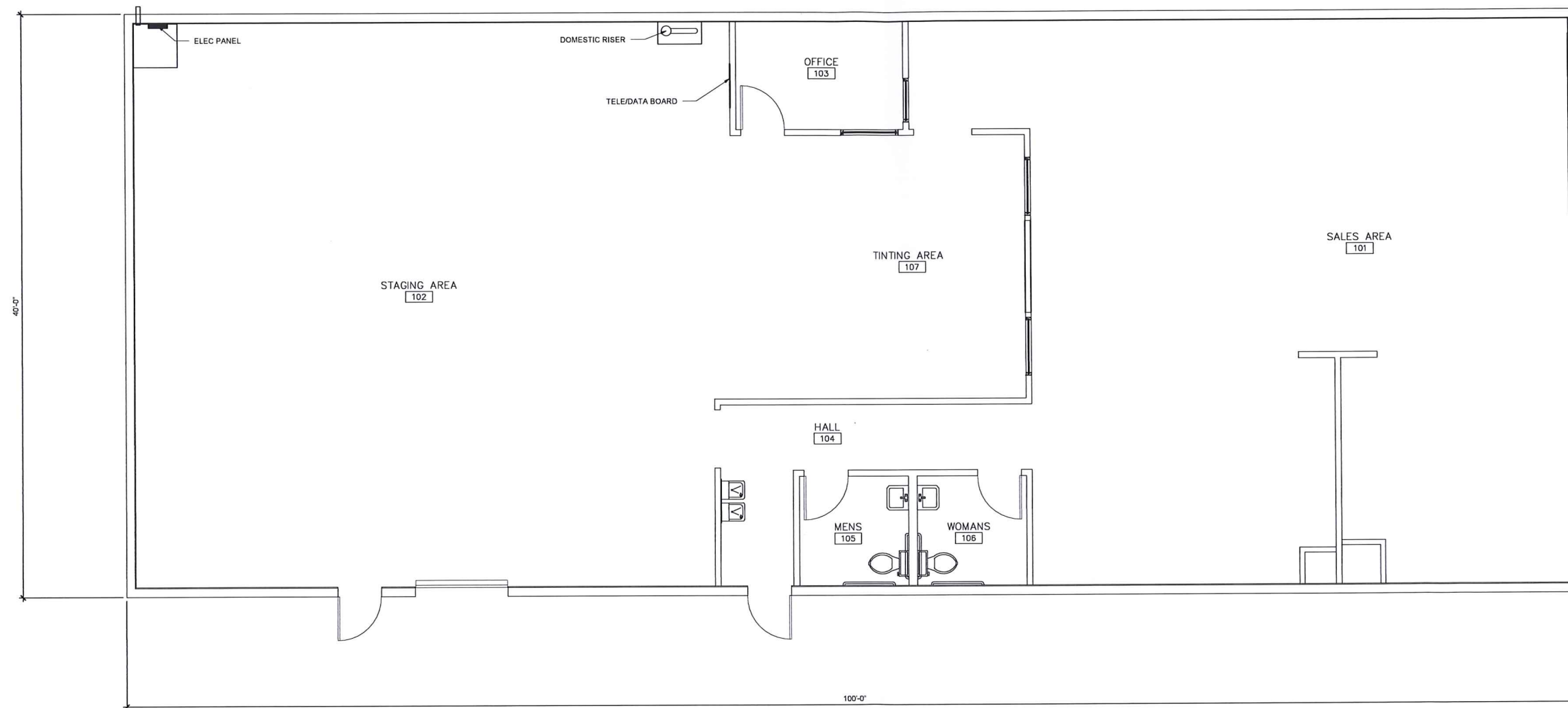
Drawn By: CMH  
 Checked By: CJB  
 Approved By: KMS  
 Project #: 21204301  
 Plan Date: 11/01/21  
 Scale: NTS

PROFESSIONAL ENGINEER  
 KEVIN M. SOLLI, P.E.  
 MA 51952

**PROPOSED SHERWIN-WILLIAMS**  
 413 NATHAN ELLIS HIGHWAY  
 MASHPEE, MASSACHUSETTS

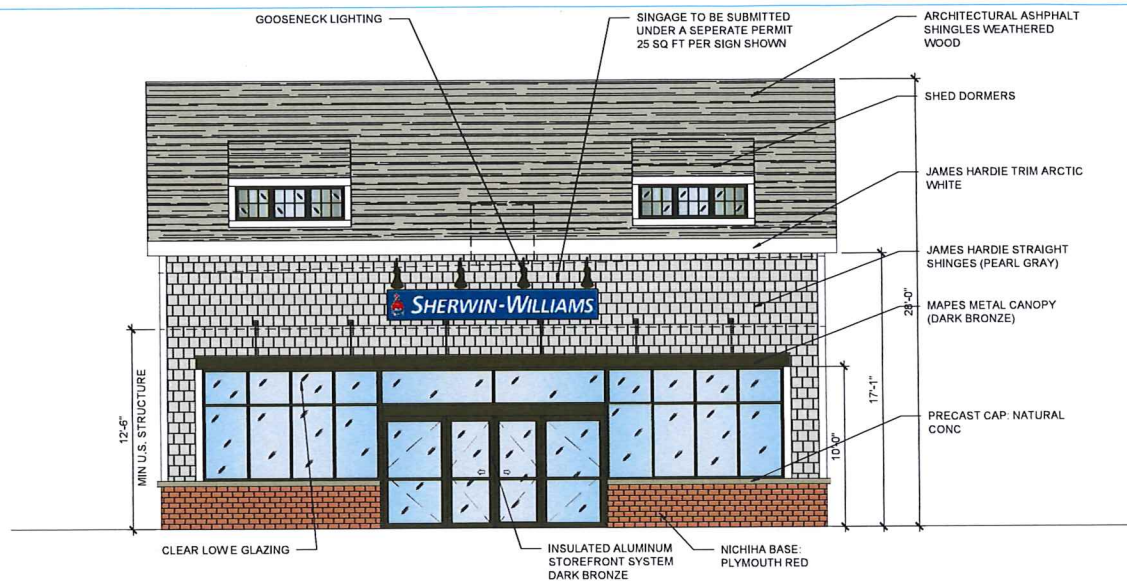
Sheet Title: CONSTRUCTION DETAILS  
 Sheet #: 3.04

Dec 17, 2021 10:10 AM  
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 413 Nathan Ellis Hwy  
 Mashpee, MA 02052  
 3/16/2021

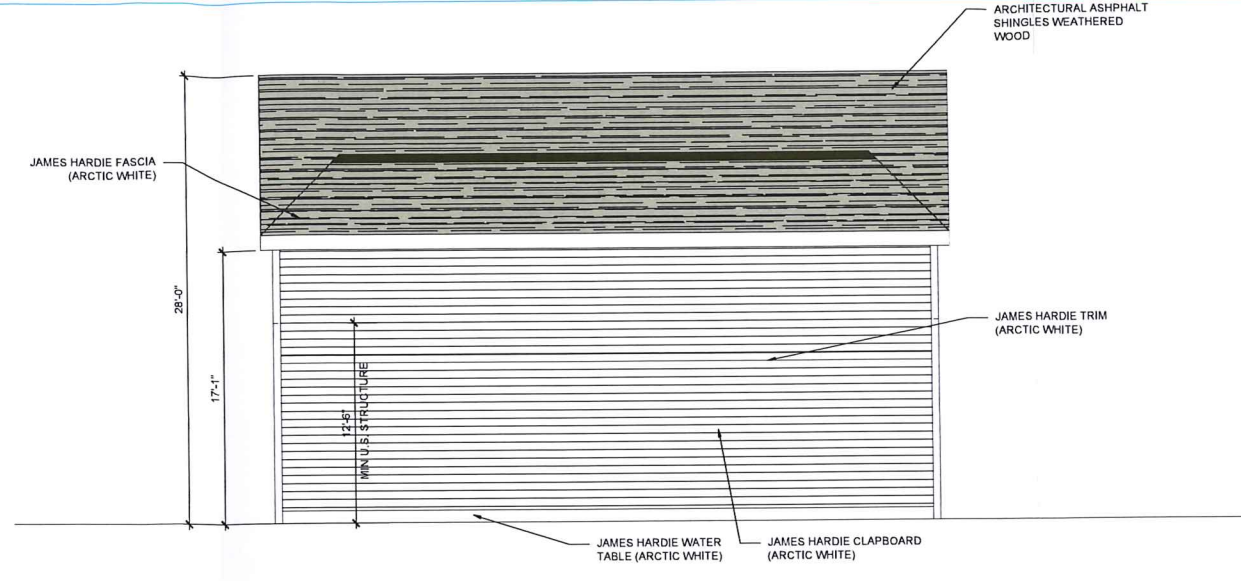


1 PROPOSED FLOOR PLAN  
SCALE: 1/4"=1'-0"

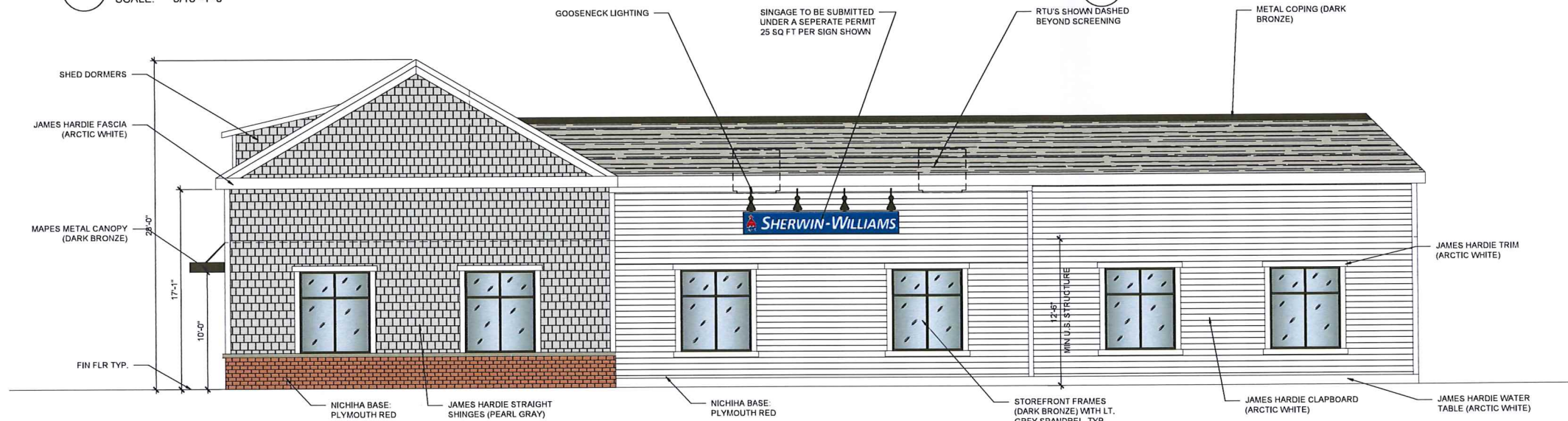
Proposed Floor Plan



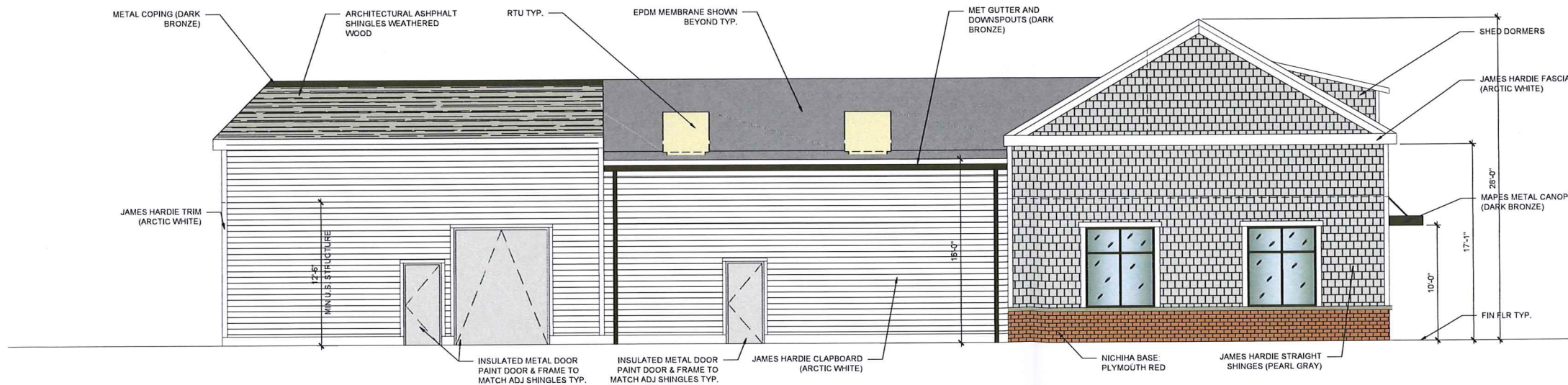
1 PROPOSED FRONT ELEVATION (NATHAN ELLIS HWY RT 131)  
SCALE: 3/16"-1'-0"



2 PROPOSED REAR ELEVATION  
SCALE: 3/16"-1'-0"



3 PROPOSED RIGHT SIDE ELEVATION (NINIGRET AVE.)  
SCALE: 3/16"-1'-0"



4 PROPOSED LEFT SIDE ELEVATION (RECEIVING)  
SCALE: 3/16"-1'-0"



**Special Permit Decision**  
**Lisciotti Development Corporation**  
**Retail Paint Shop (Sherwin Williams)**  
**413 Nathan Ellis Highway, Mashpee, MA 02649 (Assessor's Map 72 Parcel 56A)**

## **I. Proposal.**

This decision concerns the application of Lisciotti Development Corp., 83 Orchard Hill Park Drive, Leominster, MA 01453 (the "Applicant") for approval of a special permit to construct a 4,000 s.f. retail paint shop proposed to be occupied by Sherwin Williams. The property is identified on the Mashpee Assessors Maps as Map 72, Block 56A (the "site"). The property owner is identified as Robert A. Lebewohl Family Trust of 14 Cherry Orca Lane, Framingham, MA 01701. This petition is made pursuant to the Mashpee Zoning Bylaw Sections 174-31 (N)(8), 174-25(E)(1), 174-24(C), 174-37, 174-82(1), 174-82(4), 174-41 (M), 174-31(N)(14).

The site had been previously developed as a restaurant until it burned down. The site has been vacant for a number of years with various development schemes proposed on the site failing due to the site's constraints particularly as they pertain to the setbacks from Nathan Ellis Highway (Route 151), Ninigret Avenue, and Wampanoag Avenue (paper). Additionally, the commercially zoned site in the C-2 zoning district abuts residentially zoned property where an additional setback applies. The site is also bisected by the Mashpee Groundwater Protection Overlay District. The applicant submitted with the special permit application various waiver requests that are within the discretion of the Planning Board.

## **II. Jurisdiction.**

The application was made and this decision is issued by the Mashpee Planning Board pursuant to Article VI, Section 174-24.C.(9)(c) of the Mashpee Zoning Bylaws as they existed on January 19, 2022, the date on which this special permit was approved by the Mashpee Planning Board. Where reference is made herein to the Mashpee Zoning Bylaw, it shall refer to the provisions thereof as they existed on said date. The project is located in the C-2 Commercial District and within the Mashpee Groundwater Protection Overlay District.

## **III. Chronology.**

The application for this special permit was filed with the Town Clerk on November 12, 2021. The plans were reviewed by the Design Review Committee on 01/04/2022 and by the Plan Review Committee on 01/04/2022. The Design Review Committee recommended approval conditional upon additional landscaping along Ninigret Avenue. These suggested revisions were amended and shown on the landscaping plan cited in Section V: Conditions below.

The Plan Review Committee recommended approval with the following conditions:

- There shall be no floor drains or any other design element that would result in the leeching of hazardous materials into groundwater.
- The entrance to the site from Nathan Ellis Highway shall show Cape Cod Berm as opposed to the initial curbing design.

- The stormwater detention basin include subsurface infiltration as a requirement by the Board of Health.
- The dumpster facility be expanded so that there is adequate space provided for the recycling of cardboard.

A hearing was opened before the Mashpee Planning Board at the Mashpee Town Hall, 16 Great Neck Road, North, Mashpee, Massachusetts on January 5, 2022. Notice was duly given to abutters in accordance with Massachusetts General Law Chapter 40A. Notice was given by publication in the Mashpee Enterprise, a newspaper of general circulation in the town of Mashpee on December 10, 2021 and December 17, 2021. The public hearing was continued until the meeting of January 19, 2022.

#### **IV. Decision and Findings.**

On January 19, 2022 the Planning Board closed the public hearing and voted to make the following findings and grant the special permit as described below. The members of the Planning Board were recorded as follows: John Fulone, John Phelan, Mary Waygan, Dennis and Robert Hansen were recorded as voting in favor of the decision. No members were recorded as voting against. Associate member Hansen was seated by the Chair with the absence of Joseph Callahan, Clerk at the opening of the public hearing on January 5, 2022.

1. The Property is located in the C-2 Commercial zoning district and within the Groundwater Protection Overlay District. The proposed use is allowed in those districts.
2. The proposed special permit application satisfies the requirements of Massachusetts General Law Chapter 40A, in that it complies with the general purposes and intent of the Mashpee Zoning By-Law.
3. The applicant requested waivers of the provision of Article VII – Land Space Requirements – Section 174-31, Land Space Requirements Table, Footnote #14 that requires any land within fifty (50') of Route 151 be left as a naturally wooded buffer in its natural state, or if not naturally wooded, suitably planted with sufficient trees and understory vegetation to replicate a naturally wooded area. The Planning Board voted to grant this waiver request reducing this wooded buffer between Route 151 and the development's curb to 42 foot. The Planning Board found that granting this waiver was a substantial improvement to the existing condition and thus, "more conforming"
4. The applicant request waivers from the provisions contained in Article VIII- Parking Facilities- Section 174-37 Location of Facilities. The Planning Board unanimously supported this waiver request and voted to allow seven (7) of the required parking spaces be provided along the western side of the building and (6) parking spaces along the front of the building within the Nathan Ellis Highway (Route 151) front yard setback. The Board finds that granting this waiver request would provide patrons with a safer, more efficient, and more adequate access to the building's main entrance.
5. The applicant request waivers from Article VIII- Parking Facilities – Section 174.41(M) Parking Lot Design requiring any parking area containing ten (10) or more parking spaces have a minimum ratio of 1:5 of landscaping or natural area to paved area. The Board found that strict adherence to this requirement would result in additional impervious area due to the extension of the drive's aisle and would result in an untraditional parking layout that would bear a negative impact on surrounding

areas of the site resulting in inefficient and unsafe access to the building for patrons and deliveries. The Board voted unanimously to grant this waiver request.

6. The applicant requested waivers from Article XIII – Groundwater Protection District – Section 174-82(4) Special Permit uses prohibiting any lot located within the groundwater protection district from the rendering impervious of greater than fifteen percent (15%) or two-thousand five hundred (2,500 s.f.) square feet (whichever is greater). The applicant proposes to render impervious 40.4% of the total lot. The Board finds that this relief granted to this redevelopment would result in a net reduction in total impervious surface at the site and thus unanimously voted to grant the waiver request.
7. In conformance with the provisions of Article VI, Section 174-24.C.(2) of the Zoning Bylaw, the Planning Board finds that the proposal will not adversely affect public health or safety, will not cause excessive demand on community facilities, will not significantly decrease surface or ground water quality or air quality, will not have significant adverse impact on wildlife habitat, estuarine systems, traffic flow, traffic safety, waterways, fisheries, public lands or neighboring properties, will not cause excessive levels of noise, vibration, electrical disturbance, radioactivity or glare, will not destroy or disrupt any species listed as rare, endangered or threatened by the Massachusetts Natural Heritage program or any known historic or archaeological site, will not produce amounts of trash, refuse or debris in excess of the town's landfill and waste disposal capacities, will properly dispose of stumps, construction debris, hazardous materials and other wastes, will provide adequate off street parking, will not cause excessive erosion or cause increase runoff into neighboring properties or into any natural river, stream, pond or water body and will not otherwise be detrimental to the town or the area.

**V. Conditions.**

1. The project shall be constructed in conformance with the "Proposed Sherwin-Williams," site plans prepared for Mashpee SW LLC C/O Lisciotti Development prepared by Solli Engineering, 11 Vanderbilt Avenue, Suite 240, Norwood, MA 02062, containing the following fifteen (15) sheets:
  - "Cover Sheet, Proposed Sherwin Williams, Sheet 0.00, by Solli Engineering, Norwood, MA" dated 11/01/2021 and revised 1/10/2022"
  - "ALTA/NSPS LAND TITLE SURVEY, Sheet 1 of 1", prepared for Solli Engineering by Brian C. Franetovich, Registered Professional Land Surveyor of Northeast Survey Consultants, dated 10-08-2021"
  - "300' Radius Map, Proposed Sherwin Williams, Sheet 1.40, by Solli Engineering, Norwood, MA dated 11/01/2021 and revised 1/10/2022"
  - "Site Layout Plan, Proposed Sherwin Williams, Sheet 2.11," by Solli Engineering, Norwood, MA dated 11/01/2021 and revised 1/10/2022"
  - "Grading Drainage and Utility Plan, Proposed Sherwin Williams, Sheet 2.21," by Solli Engineering, Sandwich, MA dated 11/01/2021 and revised 1/10/2022"

“Soil Erosion and Sediment Control Plan, Proposed Sherin Williams, Sheet 2.31, by Solli Engineering dated 11/01/2021 and revised 12/28/2021 (peer review comments)”

“SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS, Proposed Sherwin Williams, Sheet 2.41, by Solli Engineering dated 11/01/2021, no revisions”

“Landscape Plan, Proposed Sherwin Williams, Sheet 2.61, by Solli Engineering dated 11/01/2021 and revised 1/10/2022”

“Lighting Plan, Proposed Sherwin Williams, Sheet 2.71, by Solli Engineering dated 11/01/2021, no revisions”

“Construction Details, Proposed Sherin Williams, Sheet 3.01, by Solli Engineering, dated 11/01/2021 and revised 1/10/2022.”

“Construction Details, Proposed Sherin Williams, Sheet 3.02, by Solli Engineering, dated 11/01/2021 and revised 1/10/2022”

“Construction Details, Proposed Sherin Williams, Sheet 3.03, by Solli Engineering, dated 11/01/2021, no revisions”

“Construction Details, Proposed Sherin Williams, Sheet 3.04, by Solli Engineering, dated 11/01/2021 and revised 12/28/2021 (peer review comments)”

“Sherwin Williams Mashpee MA Conceptual Floor Plan, 413 Nathan Ellis Highway, Mashpee, MA 02649, dated October 7, 2021 by BKA Architects”

“Sherwin Williams Mashpee MA Conceptual Elevations, 413 Nathan Ellis Highway, Mashpee, MA 02649, dated October 21, 2021 by BKA Architects”

2. Signage along Nathan Ellis Highway shall be constructed only according to the specifications provided on Sheet 3.01 titled, Construction Details.
3. The Stormwater Operation and Maintenance Plan submitted by the applicant shall run with the property so that future operation and maintenance will be the responsibility of all successive property owners for the project as shown. Additionally the property owner shall sign the Stormwater Operation and Maintenance Plan as reviewed and approved by the Planning Board’s consulting engineer, Ed Pesce.
4. Prior to commencing construction, the applicant and its contractors shall meet with the Boards Consulting Engineer and any members of the Mashpee Town Staff including the DPW Director, Building Commissioner, Police, Fire, Town Planner, and Health Agent for a pre-construction conference.
5. Landscaping and natural areas shall be adequately maintained in accordance with Sheet 2.61 landscaping plan by the current property owner and by all successive property owners.

6. Any future modifications or changes to the site plans shall require Planning Board approval. Changes that are de minimus changes or technical corrections as determined by the Planning Board may be made without the notice and public hearing requirements of MGL Chapter 40A Sections 9 and 11 and the Mashpee Zoning Bylaw 174-24 (C)1.
7. All conditions of this special permit shall be binding not only upon the applicant but also on all successors-in-interest and assigns of the applicant.
8. No occupancy or building permits shall be issued while there exists any substantial violation of the conditions of this special permit unless the Board, by a favorable vote of 4 members at a regular meeting, should allow such issuance.
9. Within 60 days of the approval of this decision, the applicant shall provide to the Board a copy of this decision as recorded with the Barnstable County Registry of Deeds, including an indication as to the book and page at which it was recorded.

**VI. Signature and Filing.**

This special permit modification decision has been approved by the Mashpee Planning Board on this \_\_\_\_<sup>th</sup> day of January 2022

A true copy  
Attest

\_\_\_\_\_  
Member, Mashpee Planning Board

COMMONWEALTH OF MASSACHUSETTS

Barnstable, ss.

\_\_\_\_\_  
Date

On this \_\_\_\_ day of January 2022, before me, the undersigned notary public, personally appeared \_\_\_\_\_, a member of the Mashpee Planning Board, proved to me through satisfactory evidence of identification, which were \_\_\_\_\_, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that (he/she) signed it voluntarily for its stated purpose.

\_\_\_\_\_  
Notary Public

My Commission expires: \_\_\_\_\_

Date of expiration

A copy of this decision has been duly filed on \_\_\_\_\_, 2022 with the Town Clerk of Mashpee.

\_\_\_\_\_  
Town Clerk

Notice of this decision was mailed on \_\_\_\_\_, 2022 to the applicant, to the parties in interest designated in M.G.L. Chapter 40A, Section 11 and to all persons at the hearing who requested such



notice. Any appeal shall be made pursuant to Section 17 of the Chapter 40A of the Massachusetts General Laws within twenty (20) days after the date of said filing.

I, \_\_\_\_\_, Town Clerk of the Town of Mashpee, hereby certify that a copy of this decision was filed with the office of the Town Clerk on \_\_\_\_\_, 2022 and that no appeal of that decision was filed within twenty (20) days thereafter.

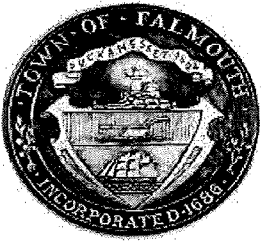
\_\_\_\_\_  
Date

\_\_\_\_\_  
Town Clerk

Upon expiration of the statutory appeal period with no appeal having been filed, this special permit decision has been signed by the Mashpee Planning Board on \_\_\_\_\_, 2022 and may be recorded.

DRAFT

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# **TOWN OF FALMOUTH**

## **ZONING BOARD OF APPEALS**

59 TOWN HALL SQUARE, FALMOUTH, MA 02540  
508-495-7460 – FAX 508-495-7463

JAN 10 2022

### **BOARD OF APPEALS**

### **NOTICE OF PUBLIC HEARING**

Being all persons deemed affected by the Board of Appeals under Section 11 of Chapter 40A of the Massachusetts General Laws you are hereby notified that:

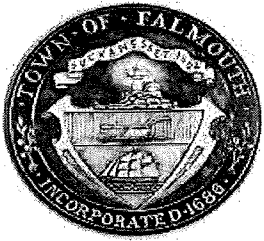
**Application # 111-21 Joe Saade, 10 North Main Street, Falmouth, Ma.:** Applied to the Zoning Board of Appeals for a special permit and variance pursuant to section(s) 240-51B (3), 240-68 A (8) and 240-203 of the Code of Falmouth to raze the existing building (6 North Main), expand existing parking to include five (5) spaces for the display and sales of used cars and install a new canopy structure encroaching into the street setback (10 North Main). The subject properties are 6 and 10 North Main Street, Falmouth, Ma.

Map 47A Section 03 Parcel 064A Lot 000 - #6  
Map 47A Section 03 Parcel 064B Lot 004 - #10

A public hearing will be given on this application, in the Select Board's Meeting Room, Town Hall, on **Thursday, January 27, 2022 at 6:30PM**  
You are invited to be present.

By Order of the Board of Appeals,  
Chairman, Terrence Hurrie

Plans are available for review prior to the hearing at the Board of Appeals office, Town Hall during the hours of 8:00 AM to 4:00 PM. \*Plans are available to review at <http://www.falmouthmass.us/1113/Applications-under-review-by-the-ZBA>\*



# **TOWN OF FALMOUTH**

## **ZONING BOARD OF APPEALS**

59 TOWN HALL SQUARE, FALMOUTH, MA 02540  
508-495-7460 – FAX 508-495-7463

JAN 10 2022

### **BOARD OF APPEALS**

### **NOTICE OF PUBLIC HEARING**

Being all persons deemed affected by the Board of Appeals under Section 11 of Chapter 40A of the Massachusetts General Laws you are hereby notified that:

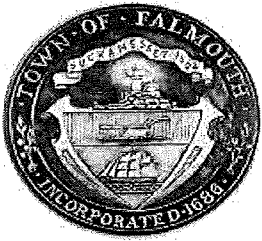
**Application #016-21R, Court Ordered Remand - Joseph and Mary Noonan, 12 Pheasant Hill Road, Norfolk, Ma.:** Applied to the Zoning Board of Appeals for a special permit pursuant to section(s) 240-3 C. and 240-69 E. of the Code of Falmouth to raze and rebuild the non-conforming dwelling, increasing lot coverage by structures on subject property known as 183 Surf Drive, Falmouth, Ma.

Map 47 Section 03 Parcel 081A Lot(s) 000D

A public hearing will be given on this application, in the Selectmen's Meeting Room, Town Hall, on **Thursday, January 27, 2022 at 6:30PM**  
You are invited to be present.

By Order of the Board of Appeals,  
Chairman, Terrence Hurrie

Plans are available for review prior to the hearing at the Board of Appeals office, Town Hall during the hours of 8:00 AM to 4:00 PM.\*Plans are available to review at <http://www.falmouthmass.us/1113/Applications-under-review-by-the-ZBA>\*



# **TOWN OF FALMOUTH**

## **ZONING BOARD OF APPEALS**

59 TOWN HALL SQUARE, FALMOUTH, MA 02540  
508-495-7460 – FAX 508-495-7463

JAN 10 2022

### **BOARD OF APPEALS**

### **NOTICE OF PUBLIC HEARING**

Being all persons deemed affected by the Board of Appeals under Section 11 of Chapter 40A of the Massachusetts General Laws you are hereby notified that:

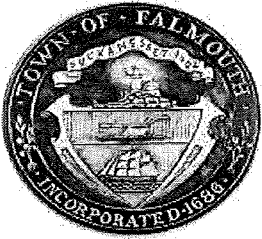
**Application # 108-21 Mary P. McQuoid, 913B Ridgefield Circle, Clinton, Ma.:** Applied to the Zoning Board of Appeals for a special permit pursuant to section(s) 240-3 C. of the Code of Falmouth to remove a portion of the existing deck and construct an addition in its place on subject property known as 59 Ellsworth Drive, East Falmouth, MA.

Map 41 Section 03 Parcel 000K Lot(s) 040

A public hearing will be given on this application, in the Selectmen's Meeting Room, Town Hall, on **Thursday, January 27, 2022 at 6:30PM**  
You are invited to be present.

By Order of the Board of Appeals,  
Chairman, Terrence Hurrie

Plans are available for review prior to the hearing at the Board of Appeals office, Town Hall during the hours of 8:00 AM to 4:00 PM. \*Plans are available to review at <http://www.falmouthmass.us/1113/Applications-under-review-by-the-ZBA>\*



# **TOWN OF FALMOUTH**

## **ZONING BOARD OF APPEALS**

59 TOWN HALL SQUARE, FALMOUTH, MA 02540  
508-495-7460 – FAX 508-495-7463

JAN 10 2022

### **BOARD OF APPEALS**

### **NOTICE OF PUBLIC HEARING**

Being all persons deemed affected by the Board of Appeals under Section 11 of Chapter 40A of the Massachusetts General Laws you are hereby notified that:

**Application # 109-21 Jonathan E. O'Reilly, 16 Barrows Street, Norton, Ma.:** Applied to the Zoning Board of Appeals for a special permit pursuant to section(s) 240- 3 C. and 240-69 E. of the Code of Falmouth to raze the existing dwelling and detached garage and rebuild with an attached garage on subject property known as 14 Montgomery Avenue, Falmouth, Ma.

Map 46B Section 25 Parcel 002 Lot(s) 016

A public hearing will be given on this application, in the Selectmen's Meeting Room, Town Hall, on **Thursday, January 27, 2022 at 6:30PM**  
You are invited to be present.

By Order of the Board of Appeals,  
Chairman, Terrence Hurrie

Plans are available for review prior to the hearing at the Board of Appeals office, Town Hall during the hours of 8:00 AM to 4:00 PM.\*Plans are available to review at <http://www.falmouthmass.us/1113/Applications-under-review-by-the-ZBA>\*



JAN 10 2022

**TOWN OF FALMOUTH  
MASSACHUSETTS**

**BOARD OF APPEALS**

**Notice of Decision**

Notice is hereby given that the Board of Appeals of the Town of Falmouth has made a decision on a petition by Timothy J. and Jennifer C. Doonan, 12 Worcester Avenue, Falmouth, Ma. (Map 46B Lot 010) under 240-3 C. and 240-69 E. of the Zoning By-Law, as amended to **grant** the special permit to remove existing garage and construct an attached garage with habitable space above.

Appeals, if any, shall be made pursuant to the Massachusetts General Laws, Chapter 40A, Section 17, and shall be filed within twenty (20) days after **January 4, 2022** which is the date the Decision was filed in the office of the Town Clerk.

Please contact Noreen Stockman at 508-495-7460  
or [Noreen.stockman@falmouthma.gov](mailto:Noreen.stockman@falmouthma.gov) if you have any questions or comments  
full text of decision available at <http://www.falmouthmass.us>



JAN 10 2022

TOWN OF FALMOUTH  
MASSACHUSETTS

## BOARD OF APPEALS

### Notice of Decision

Notice is hereby given that the Board of Appeals of the Town of Falmouth has made a decision on a petition by Donald E. Cross, II and Frances M. Cross, 428 Blacksmith Shop Road, West Falmouth, Ma.

(Map 23 Lot 003) under 240-38 I. and 240-68 A(8) of the Zoning By-Law, as amended to **grant** the special permit to allow an accessory apartment in the front yard, more than 50' from the front property line.

Appeals, if any, shall be made pursuant to the Massachusetts General Laws, Chapter 40A, Section 17, and shall be filed within twenty (20) days after **January 3, 2021** which is the date the Decision was filed in the office of the Town Clerk.

Please contact Noreen Stockman at 508-495-7460  
or [Noreen.stockman@falmouthma.gov](mailto:Noreen.stockman@falmouthma.gov) if you have any questions or comments  
full text of decision available at <http://www.falmouthmass.us>



JAN 10 2022

**TOWN OF FALMOUTH  
MASSACHUSETTS**

**BOARD OF APPEALS**

**Notice of Decision**

Notice is hereby given that the Board of Appeals of the Town of Falmouth has made a decision on a petition by Frank S. Mitchell and Monique T. Mitchell, Trustees, 5 Keechipam Way, Teaticket, Ma.

(Map 39 Lot 166) under 240-3 C. of the Zoning By-Law, as amended to **grant** the special permit to raze and reconstruct the existing dwelling.

Appeals, if any, shall be made pursuant to the Massachusetts General Laws, Chapter 40A, Section 17, and shall be filed within twenty (20) days after **January 3, 2022** which is the date the Decision was filed in the office of the Town Clerk.

Please contact Noreen Stockman at 508-495-7460  
or [Noreen.stockman@falmouthma.gov](mailto:Noreen.stockman@falmouthma.gov) if you have any questions or comments  
full text of decision available at <http://www.falmouthmass.us>



JAN 10 2022



TOWN OF FALMOUTH  
MASSACHUSETTS

## BOARD OF APPEALS

### Notice of Decision

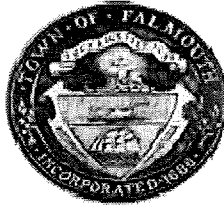
Notice is hereby given that the Board of Appeals of the Town of Falmouth has made a decision on a petition by Paul F. and Annette C. Alphen, Trustees, 119 Childs River Road, East Falmouth, Ma.

(Map 32 Lot 161) **under** 240-3 C. and 240-69 E. of the Zoning By-Law, as amended to **grant** the special permit to raze and reconstruct the existing non-conforming single family dwelling.

Appeals, if any, shall be made pursuant to the Massachusetts General Laws, Chapter 40A, Section 17, and shall be filed within twenty (20) days after **December 27, 2021** which is the date the Decision was filed in the office of the Town Clerk.

Please contact Noreen Stockman at 508-495-7460  
or [Noreen.stockman@falmouthma.gov](mailto:Noreen.stockman@falmouthma.gov) if you have any questions or comments  
full text of decision available at <http://www.falmouthmass.us>

JAN 1 0 2022



TOWN OF FALMOUTH  
MASSACHUSETTS

## BOARD OF APPEALS

### Notice of Decision

Notice is hereby given that the Board of Appeals of the Town of Falmouth has made a decision on a petition by **Douglas B. and Valeri Ann Gage, Trustees**, 216 King Street, Falmouth, Ma. (Map 47C Lot 000B) **under** 240-3 C. and 240-69 E. of the Zoning By-Law, as amended to **grant** the special permit to raze and rebuild the existing dwelling and garage (cottage will not be rebuilt).

Appeals, if any, shall be made pursuant to the Massachusetts General Laws, Chapter 40A, Section 17, and shall be filed within twenty (20) days after **December 27, 2021** which is the date the Decision was filed in the office of the Town Clerk.

Please contact Noreen Stockman at 508-495-7460  
or [Noreen.stockman@falmouthma.gov](mailto:Noreen.stockman@falmouthma.gov) if you have any questions or comments  
full text of decision available at <http://www.falmouthmass.us>



JAN 10 2022

**TOWN OF SANDWICH  
PUBLIC HEARING NOTICE  
BOARD OF APPEALS**

The Sandwich Board of Appeals will hold a Public Hearing on the application of Sandwich House, LLC, Applicant and Property Owner, for a Special Permit under Sections 2420, 4350 and 4390 of the Sandwich Protective Zoning By-Law for property located at 112 Salt Marsh Road, East Sandwich, MA Assessor's Map #85, Parcel #03, for the purpose of demolishing, rebuilding and enlarging a non-conforming structure in the flood zone and for placing fill below base flood elevation. The Public Hearing will be held on January 11, 2022 at the Sand Hill School Community Center, 16 Dewey Ave, Sandwich, MA at 6:00 p.m. The public record information can be viewed at the Planning & Development office, 16 Jan Sebastian Drive, Sandwich, MA, Monday-Friday 8:30 a.m. to 4:30 p.m.

Erik Van Buskirk, Chair  
Sandwich Board of Appeals  
Publication: Sandwich Enterprise  
Publication Dates: December 24 and December 31, 2021



JAN 10 2022

**TOWN OF SANDWICH  
PUBLIC HEARING NOTICE  
BOARD OF APPEALS**

The Sandwich Board of Appeals will hold a Public Hearing on the application of Matthew E. and April W. Forbes, Applicants and Property Owners, for a Special Permit under Sections 2420, 4350 and 4390 of the Sandwich Protective Zoning By-Law for property located at 95 North Shore Boulevard, East Sandwich, MA Assessor's Map #70, Parcel #93, for the purpose of demolishing, rebuilding and enlarging a non-conforming structure in the flood zone and for placing fill below base flood elevation. The Public Hearing will be held on January 11, 2022 at the Sand Hill School Community Center, 16 Dewey Ave, Sandwich, MA at 6:00 p.m. The public record information can be viewed at the Planning & Development office, 16 Jan Sebastian Drive, Sandwich, MA, Monday-Friday 8:30 a.m. to 4:30 p.m.

Erik Van Buskirk, Chair  
Sandwich Board of Appeals  
Publication: Sandwich Enterprise  
Publication Dates: December 24 and December 31, 2021



**TOWN OF SANDWICH  
PUBLIC HEARING NOTICE  
BOARD OF APPEALS**

**JAN 10 2022**

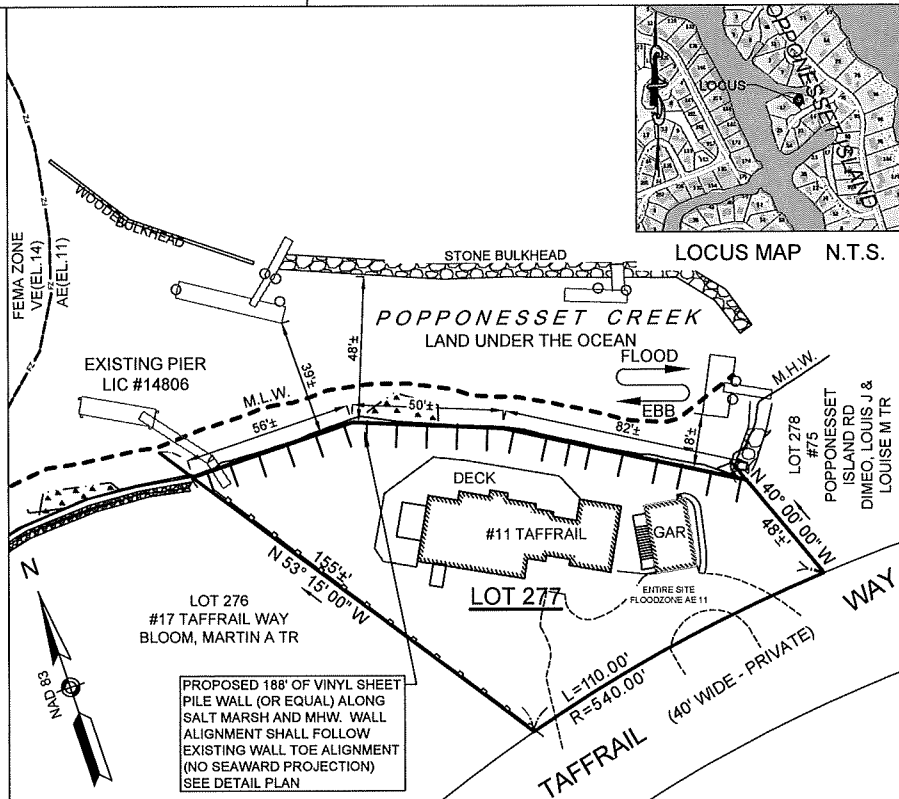
The Sandwich Board of Appeals will hold a Public Hearing on the application of Rupert & Elaine Wang, Applicants and Exchange Authority, LLC, Trustee of the Savini19807 Parking Trust, for a Special Permit under Sections 2420, 4350 and 4390 of the Sandwich Protective Zoning By-Law for property located at 114 Salt Marsh Road, East Sandwich, MA Assessor's Map #85, Parcel #02, for the purpose of demolishing, rebuilding and enlarging a non-conforming structure in the flood zone and for placing fill below base flood elevation. The Public Hearing will be held on January 11, 2022 at the Sand Hill School Community Center, 16 Dewey Ave, Sandwich, MA at 6:00 p.m. The public record information can be viewed at the Planning & Development office, 16 Jan Sebastian Drive, Sandwich, MA, Monday-Friday 8:30 a.m. to 4:30 p.m.

Erik Van Buskirk, Chair  
Sandwich Board of Appeals  
Publication: Sandwich Enterprise  
Publication Dates: December 24 and December 31, 2021

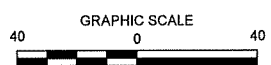


I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY OF DEEDS.

MARK DIBB, P.E.



PROPOSED 188' OF VINYL SHEET PILE WALL (OR EQUAL) ALONG SALT MARSH AND MHW. WALL ALIGNMENT SHALL FOLLOW EXISTING WALL TOE ALIGNMENT (NO SEAWARD PROJECTION) SEE DETAIL PLAN



TIDE RANGE: ±2.7  
 LATITUDE 41.583137  
 LONGITUDE -70.460113  
 DATUM: NAVD88 = 0.00 FT.  
 ELEVATIONS IN FEET

**PROPOSED WALL RECONSTRUCTION PLAN**

PARCEL ADDRESS: 11 TAFFRAIL WAY, MASHPEE, MA,  
 PLAN ACCOMPANYING PETITION OF  
 GREGORY R. AND HILLERY LEE TO RECONSTRUCT, &  
 MAINTAIN A VINYL SHEET PILE WALL  
 IN AND OVER THE WATERS OF  
 POPPONESSET CREEK, MASHPEE, MASSACHUSETTS

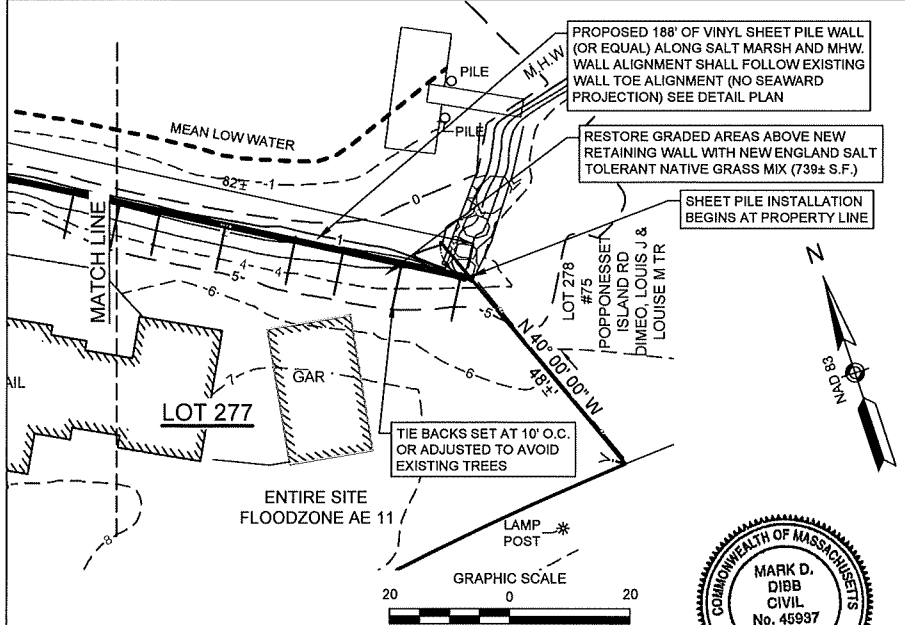
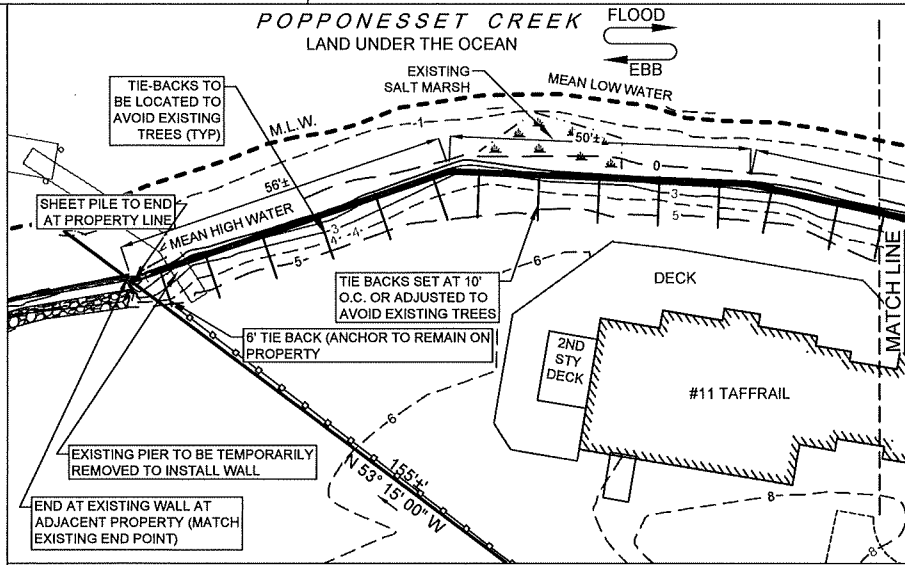
PARCEL ID 106-07

SHEET 1 OF 3

PLAN BY: CAPE & ISLANDS ENGINEERING, INC.  
 508.477.7272 DATE: OCTOBER 27, 2021

I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY OF DEEDS.

MARK DIBB, P.E.



**WALL DETAIL PLAN**

PARCEL ADDRESS: 11 TAFFRAIL WAY, MASHPEE MA  
PLAN BY: CAPE & ISLANDS ENGINEERING, INC.  
508.477.7272 DATE: OCTOBER 27, 2021

PARCEL ID 106-07



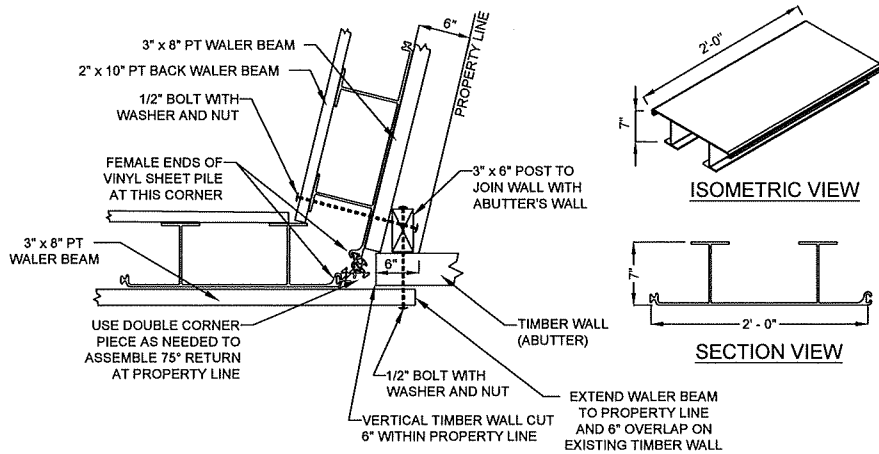
DATUM: NAVD88 = 0.00 FT.  
ELEVATIONS IN FEET

SHEET 2 OF 3

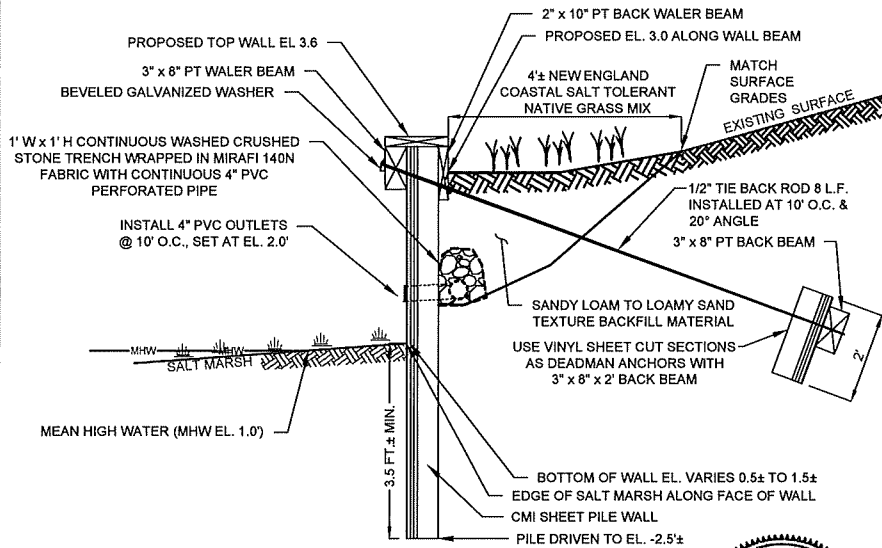


I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY OF DEEDS.

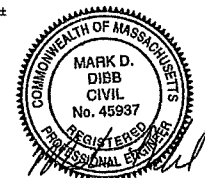
MARK DIBB, P.E.



**SHEET PILE DETAIL**  
NOT TO SCALE



**VINYL WALL PROFILE & DETAILS**  
NOT TO SCALE



**WALL DETAILS**

PARCEL ADDRESS: 11 TAFFRAIL WAY, MASHPEE, MA  
 PLAN BY: CAPE & ISLANDS ENGINEERING, INC.  
 508.477.7272 DATE: OCTOBER 27, 2021

DATUM: M.L.W. = 0.00 FT.  
 ELEVATIONS IN FEET  
 SHEET 3 OF 3

PARCEL ID 106-07

JAN 10 2022

JAN 10 2022

**DEPARTMENT OF ENVIRONMENTAL PROTECTION  
WATERWAYS REGULATION PROGRAM**

**Notice of License Application Pursuant to M. G. L. Chapter 91  
Waterways License Application Number 21-WW01-0010-APP  
Paul S. & Susan M. Sheinkopf**

**NOTIFICATION DATE: January 7, 2022**

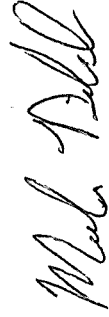
Public notice is hereby given of the Waterways application by Paul S. & Susan M. Sheinkopf to construct and maintain floats and maintain an existing pier, ramp, and stairs at 338 Monomoscoy Road in the municipality of Mashpee, in and over the waters of Great River. The proposed project has been determined to be water-dependent.

The Department will consider all written comments on this Waterways application received within thirty (30) days subsequent to the "Notification Date". Failure of any aggrieved person or group of ten citizens or more, with at least five of the ten residents residing in the municipality(s) in which the license or permitted activity is located, to submit written comments to the Waterways Regulation Program by the Public Comments Deadline will result in the waiver of any right to an adjudicatory hearing in accordance with 310 CMR 9.13(4)(c).

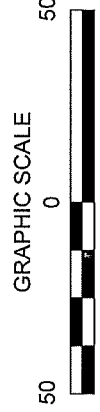
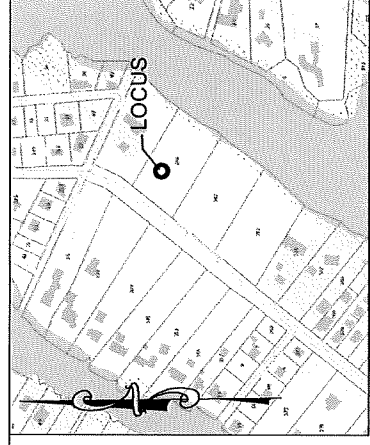
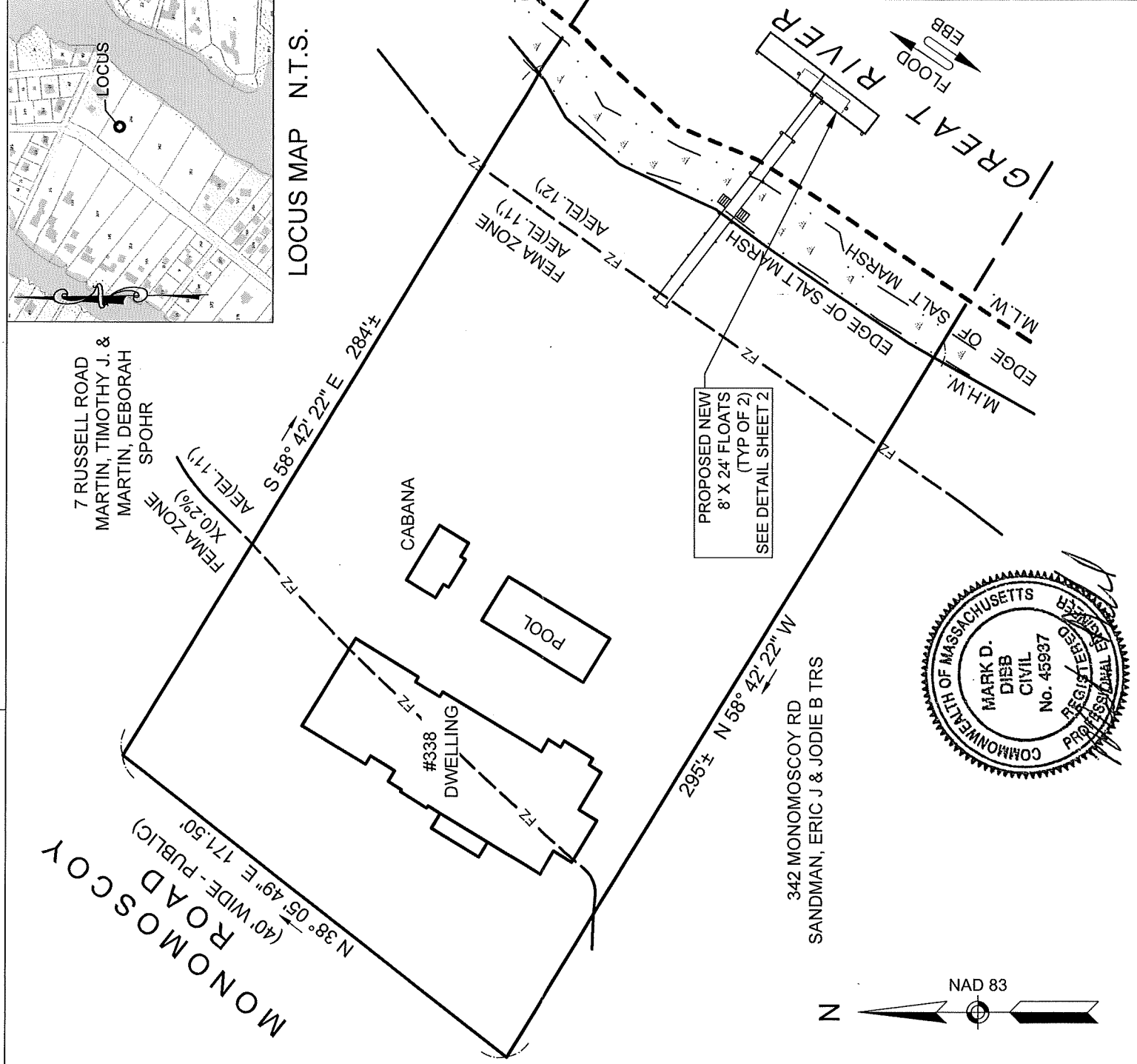
Additional information regarding this application, including plans and associated documents, may be obtained by contacting the Waterways Regulation Program at (508) 946-2707 or [brendan.mullaney@mass.gov](mailto:brendan.mullaney@mass.gov).

Written comments must be addressed to: Brendan Mullaney, Environmental Analyst, DEP Waterways Regulation Program, 20 Riverside Drive, Lakeville, MA 02347 or [brendan.mullaney@mass.gov](mailto:brendan.mullaney@mass.gov).

I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY OF DEEDS.



MARK DIBB, P.E.



TIDE RANGE: ±1.93  
 LATITUDE 41° 33' 57.05" N  
 LONGITUDE 70° 30' 21.94" W  
 DATUM: NAVD88 = 0.00 FT.  
 ELEVATIONS IN FEET

**PROPOSED FLOAT MODIFICATION**

PARCEL ADDRESS: 338 MONOMOSCOY ROAD MASHPEE, MA PLAN ACCOMPANYING PETITION OF PAUL S. & SUSAN M. SHEINKOPF TO CONSTRUCT NEW FLOATS & MAINTAIN AN EXISTING PIER, RAMP AND STAIRS IN AND OVER THE WATERS OF GREAT RIVER, MASHPEE, MASSACHUSETTS

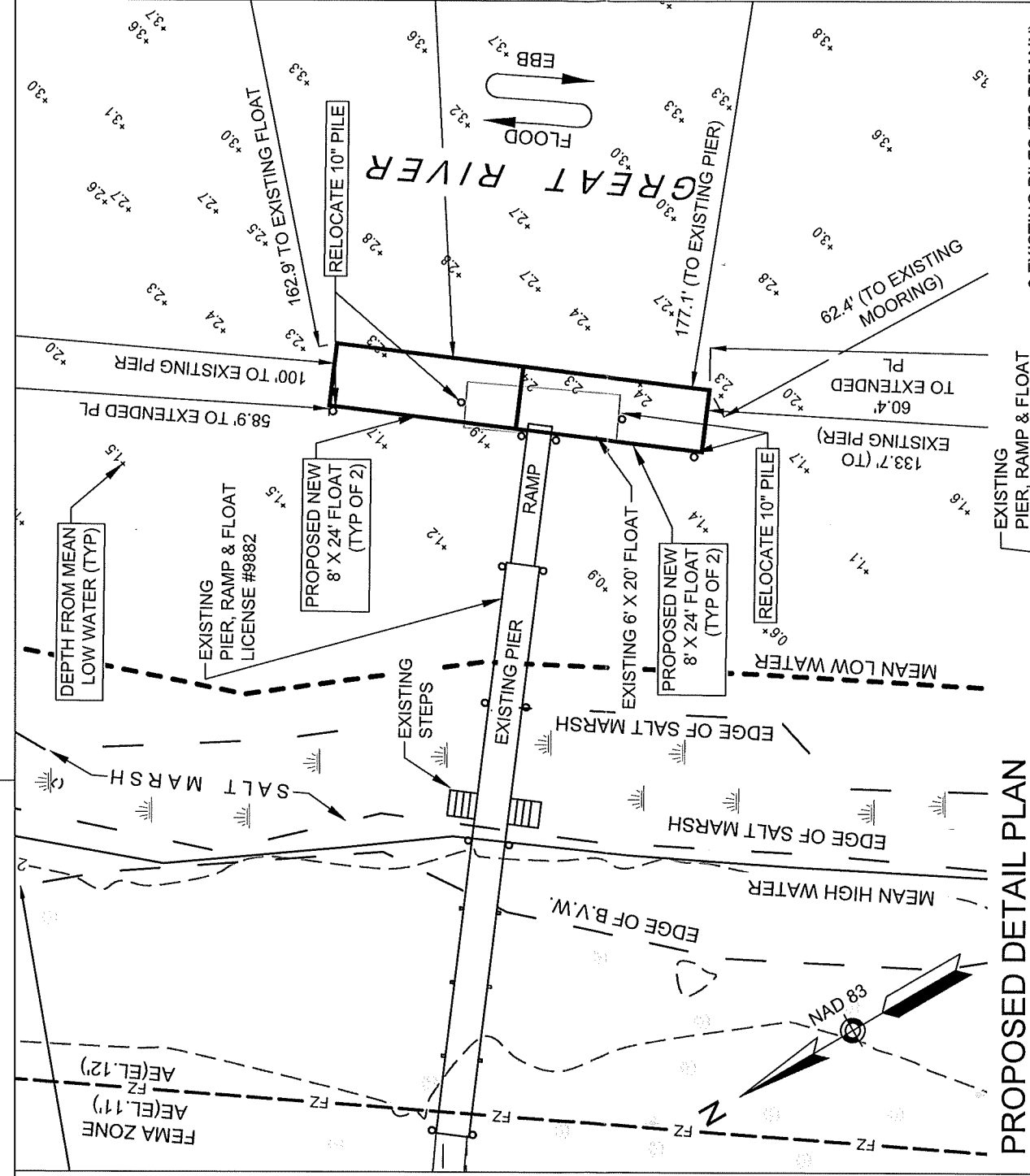
PARCEL ID MAP 120 PARCEL 194 SHEET 1 OF 3

PLAN BY: CAPE & ISLANDS ENGINEERING, INC.  
 508.477.7272 DATE: NOVEMBER 10, 2021

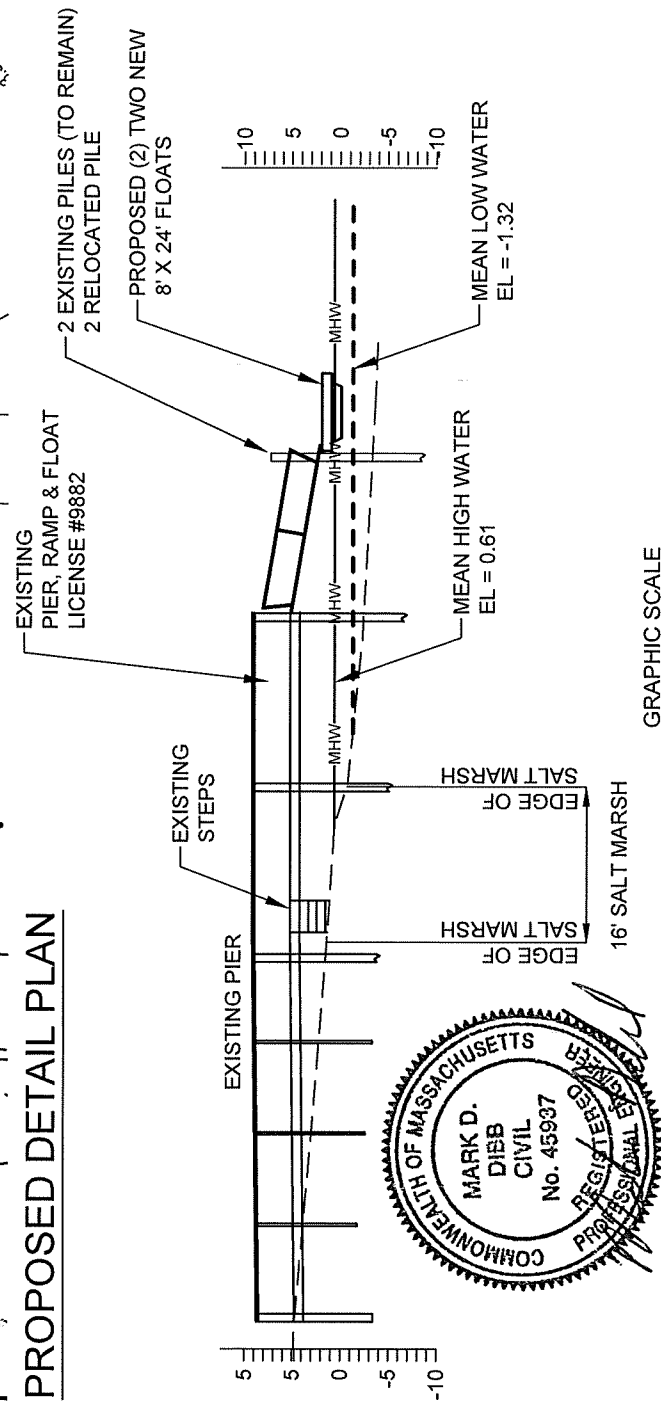
I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY OF DEEDS.

*Mark D. Dibb*

MARK DIBB, P.E.



**PROPOSED DETAIL PLAN**



**PROPOSED PROFILE**

PARCEL ADDRESS: 338 MONOMOSCOY ROAD, MASHPEE, MA  
 PLAN BY: CAPE & ISLANDS ENGINEERING, INC.  
 508.477.7272

DATUM: M.L.W. = 0.00 FT.  
 ELEVATIONS IN FEET

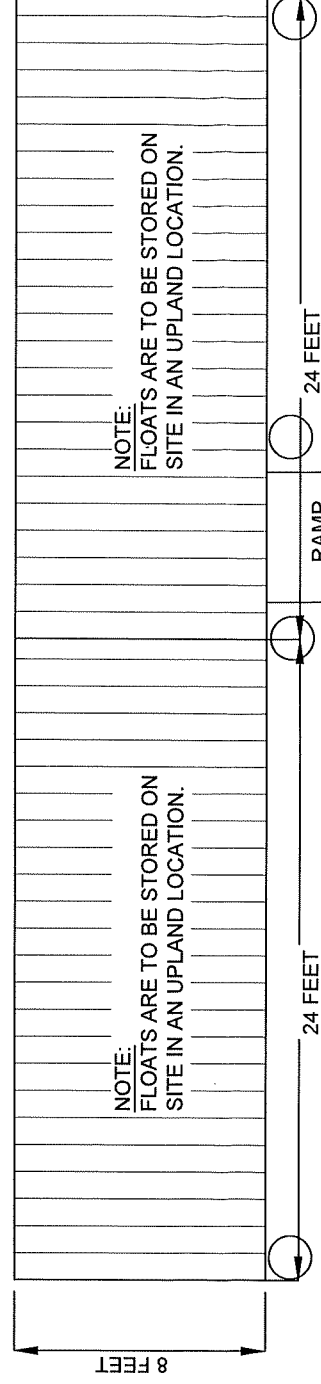
DATE: NOVEMBER 10, 2021

PARCEL ID MAP 120 PARCEL 194 SHEET 2 OF 3

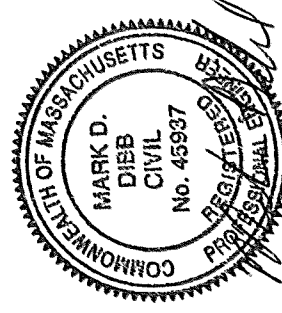
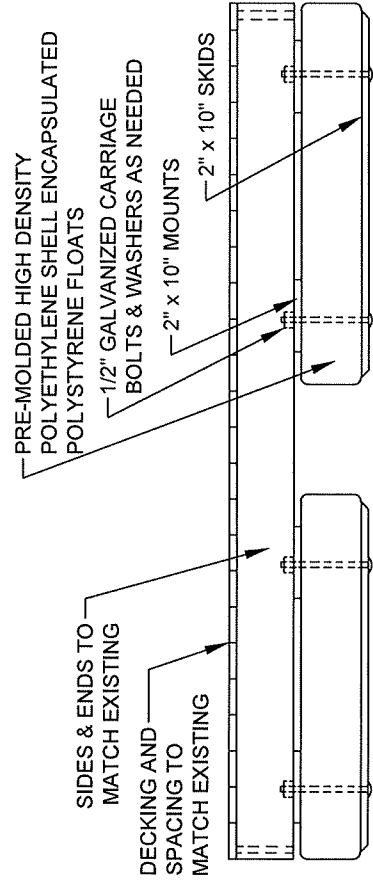
I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY OF DEEDS.



MARK DIBB, P.E.



**PLAN VIEW**



**FLOAT DETAILS**

PARCEL ADDRESS: 338 MONOMOSCOY ROAD, MASHPEE, MA

PLAN BY: CAPE & ISLANDS ENGINEERING, INC.  
508.477.7272

DATE: NOVEMBER 10, 2021

DATUM: NAVD 88  
ELEVATIONS IN FEET

PARCEL ID MAP 120 PARCEL 194 SHEET 3 OF 3

JAN 10 2022

**DEPARTMENT OF ENVIRONMENTAL PROTECTION  
WATERWAYS REGULATION PROGRAM**

**Notice of License Application Pursuant to M. G. L. Chapter 91  
Waterways License Application Number 21-WW01-0011-APP  
The 27 Sand Dollar Lane Nominee Trust**

**NOTIFICATION DATE: January 7, 2022**

Public notice is hereby given of the waterways application by The 27 Sand Dollar Lane Nominee Trust to reconstruct, expand, and maintain a pier, ramp, and float at 27 Sand Dollar Lane in the municipality of Mashpee, in and over the waters of Great River. The proposed project has been determined to be water-dependent.

The Department will consider all written comments on this Waterways application received within thirty (30) days subsequent to the "Notification Date". Failure of any aggrieved person or group of ten citizens or more, with at least five of the ten residents residing in the municipality(s) in which the license or permitted activity is located, to submit written comments to the Waterways Regulation Program by the Public Comments Deadline will result in the waiver of any right to an adjudicatory hearing in accordance with 310 CMR 9.13(4)(c).

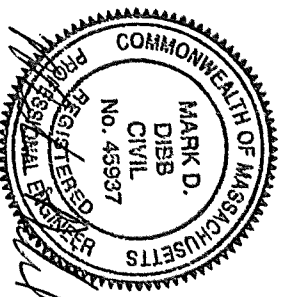
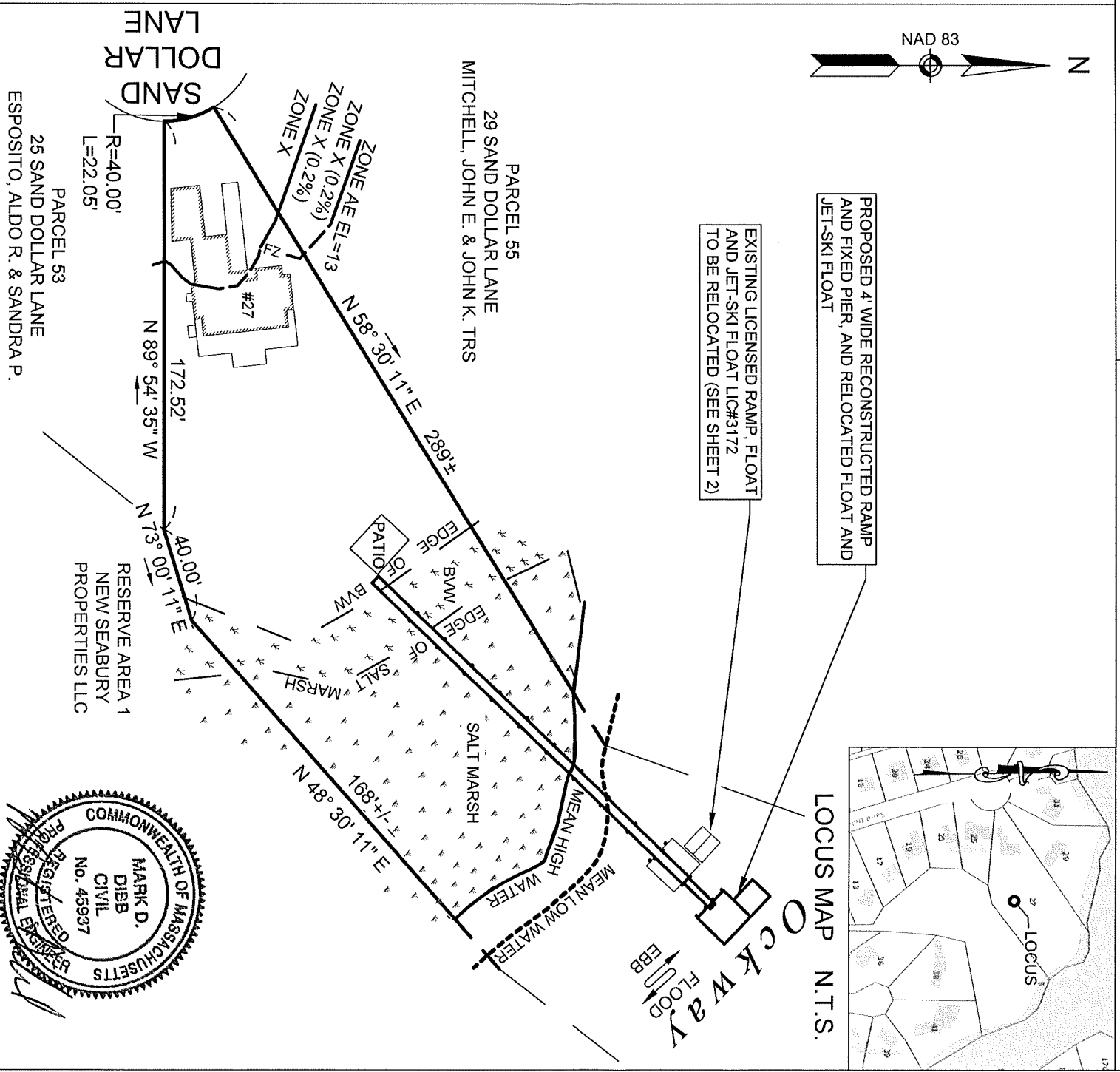
Additional information regarding this application, including plans and associated documents, may be obtained by contacting the Waterways Regulation Program at (508) 946-2707 or [brendan.mullaney@mass.gov](mailto:brendan.mullaney@mass.gov).

Written comments must be addressed to: Brendan Mullaney, Environmental Analyst, DEP Waterways Regulation Program, 20 Riverside Drive, Lakeville, MA 02347 or [brendan.mullaney@mass.gov](mailto:brendan.mullaney@mass.gov).

I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY OF DEEDS.

*Mark D. Dibb*

MARK DIBB, P.E.



**PROPOSED PIER, RAMP & FLOAT PLAN**

PARCEL ADDRESS: 27 SAND DOLLAR LANE, MASHPEE, MA  
 PLAN ACCOMPANYING PETITION OF  
 THE 27 SAND DOLLAR LANE NOMINEE TRUST TO  
 RECONSTRUCT, EXPAND & MAINTAIN A PIER RAMP  
 AND FLOAT IN AND OVER THE WATERS OF  
 OCKWAY BAY, MASHPEE, MASSACHUSETTS

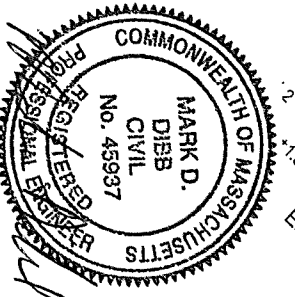
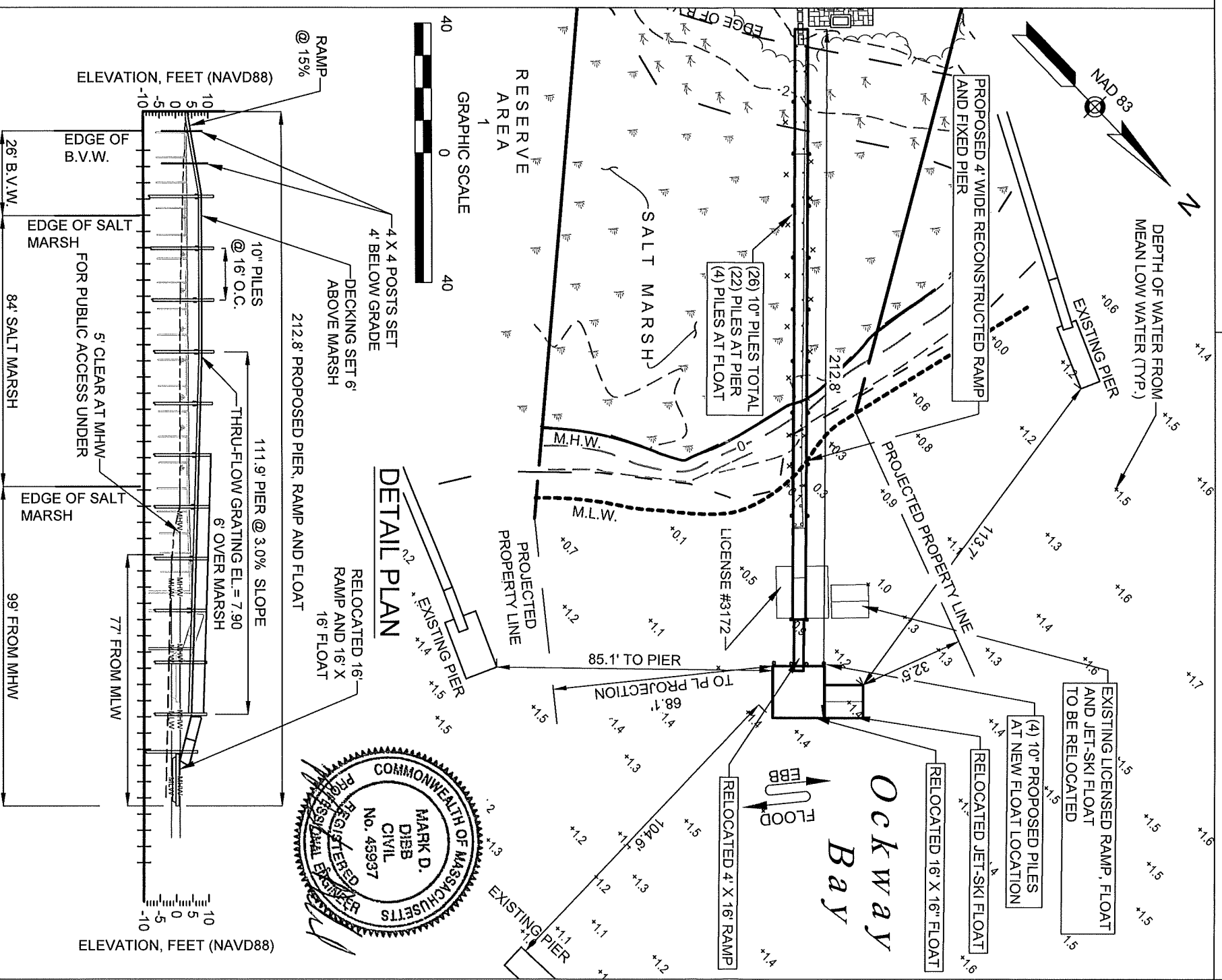
PARCEL ID MAP 105 PARCEL 88 SHEET 1 OF 3

PLAN BY: CAPE & ISLANDS ENGINEERING, INC.  
 508.477.7272 DATE: NOVEMBER 16, 2021

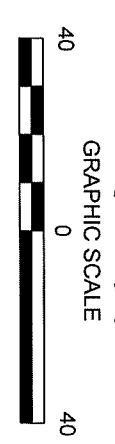
I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY OF DEEDS.

*Mark D. Dibb*

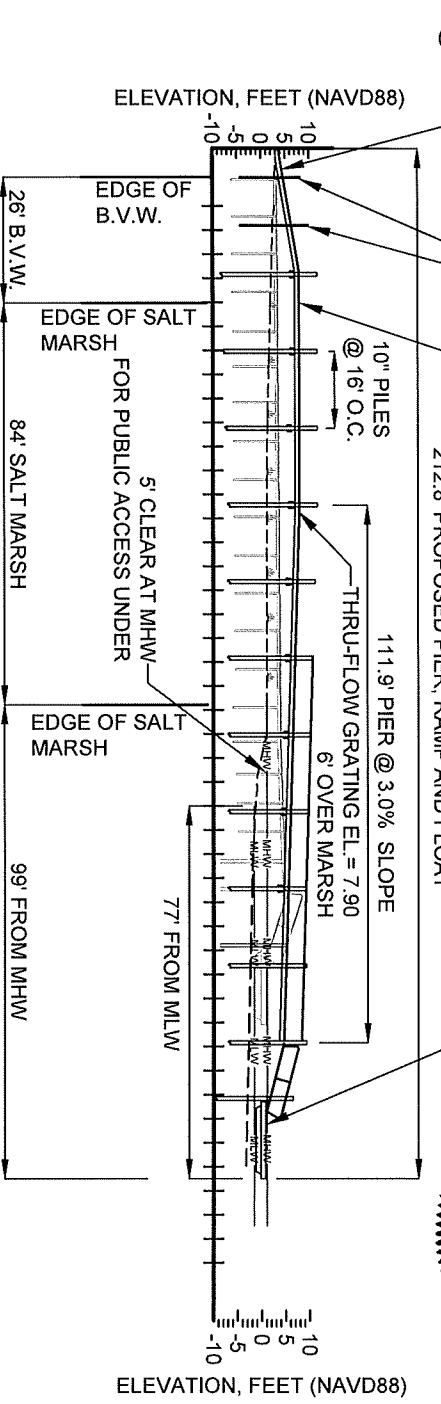
MARK DIBB, P.E.



**PROPOSED PROFILE**



**PIER PROFILE**



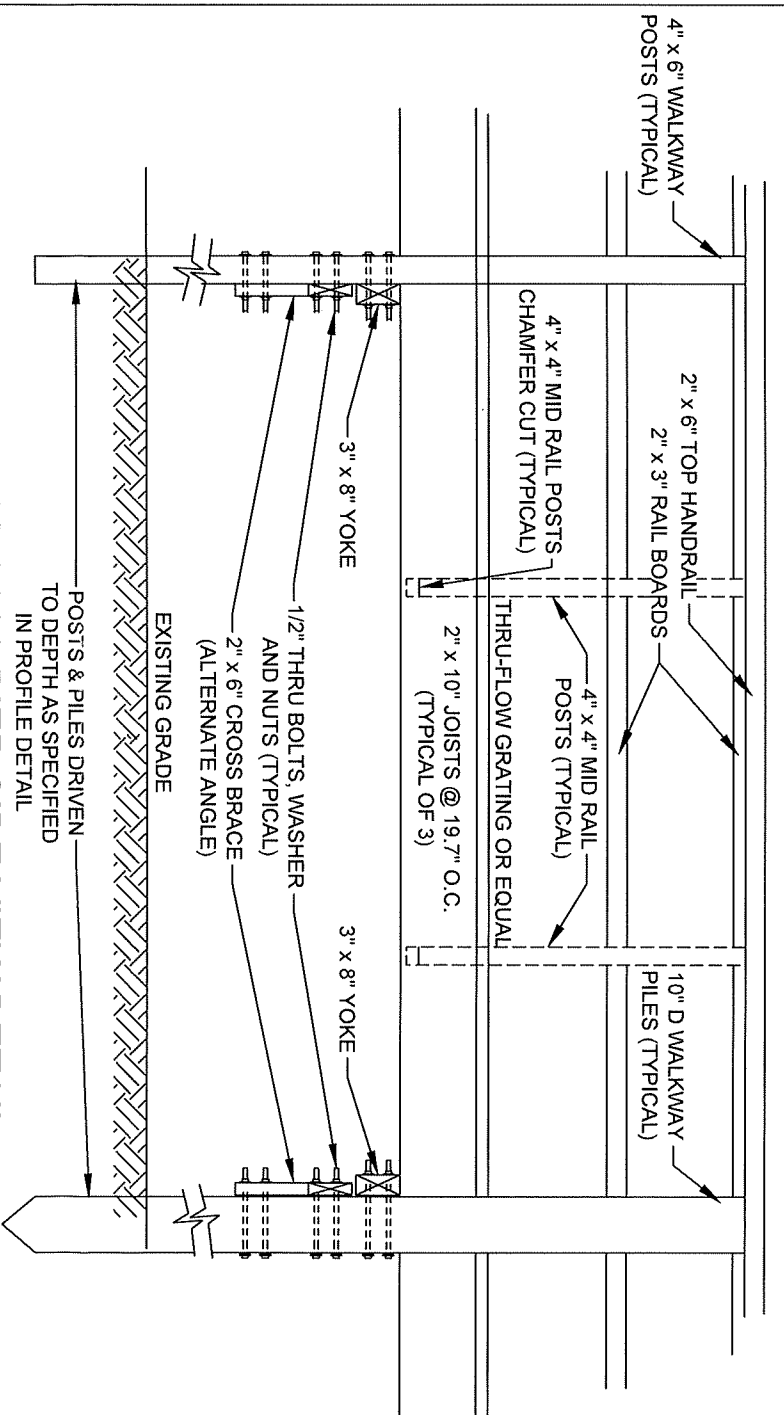
PARCEL ADDRESS: 27 SAND DOLLAR LANE, MASHPEE, MA  
 PLAN BY: CAPE & ISLANDS ENGINEERING, INC.  
 508.477.7272 DATE: NOVEMBER 16, 2021  
 DATUM: NAVD88 = 0.00 FT.  
 ELEVATIONS IN FEET  
 PARCEL ID MAP 105 PARCEL 88 SHEET 2 OF 3



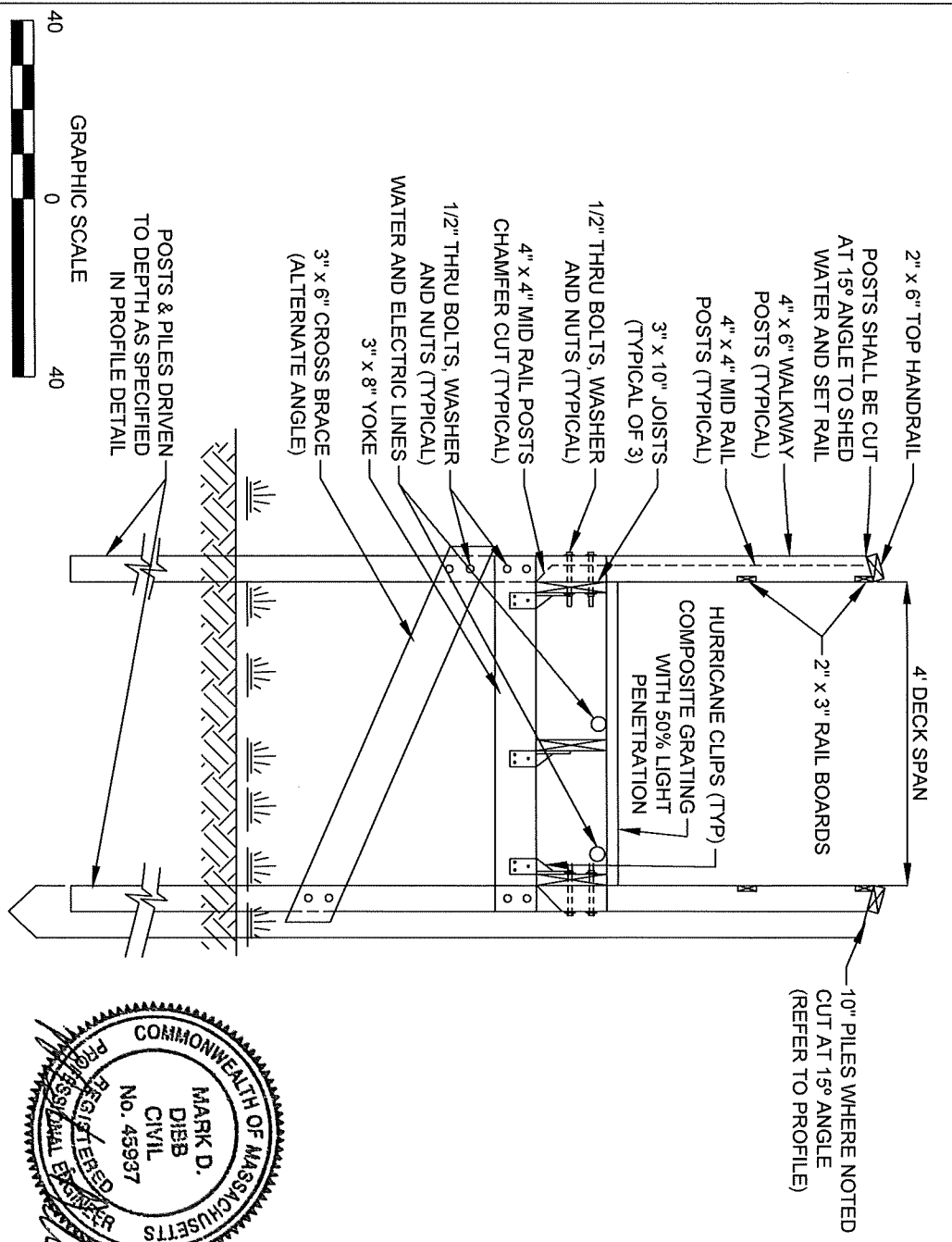
I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY OF DEEDS.

*Mark D. Dibb*

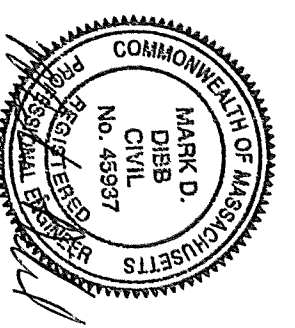
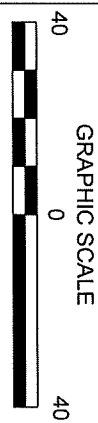
MARK DIBB, P.E.



**WALKWAY & PIER SIDE VIEW DETAIL**  
NOT TO SCALE



**WALKWAY & PIER SECTION DETAIL**  
NOT TO SCALE



PARCEL ADDRESS: 27 SAND DOLLAR LANE, MASHPEE, MA  
 PLAN BY: CAPE & ISLANDS ENGINEERING, INC.  
 508.477.7272 DATE: NOVEMBER 16, 2021  
 DATUM: M.L.W. = 0.00 FT.  
 ELEVATIONS IN FEET  
 PARCEL ID MAP 105 PARCEL 88 SHEET 3 OF 3