



**Meeting of the Mashpee Planning Board
Tuesday, September 14, 2021
Waquoit Meeting Room
Mashpee Town Hall
16 Great Neck Road North
Mashpee, MA 02649
7:00 PM**

Broadcast Live on Local Channel 18

Streamed Live on the Town of Mashpee Website: <https://www.mashpeema.gov/channel-18>

Call Meeting to Order

- Pledge of Allegiance

Public Discussion

Approval of Minutes

- Review of Meeting Minutes from September 1, 2021

Public Hearing – 7:10 PM (Continued from 8/18/2021)

Applicant: Longfellow Design Build
Location: 9 Shellback Way / 647 Falmouth Road (Route 28)
Request: Requesting a special permit to construct a 12,500 s.f. commercial building to be used for retail grocery sales on a 4 acre +/- parcel located at property addressed as 9 Shellback Way, Mashpee, MA 02649. This application is made pursuant to Sections 174-24C (1) and under Section 174-25 E (1) and 174-25 E (2). This proposal triggers a mandatory referral to the Cape Cod Commission for review as a Development of Regional Impact.

Public Hearing – 7:20 PM (Continued from 9/1/2021)

Applicant: DPF Mashpee, LLC
Location: South Cape Village Center located between Route 28, Donna's Lane and Great Neck Road South
Request: Requesting a special permit modification to construct a 4,860 s.f. commercial building to be used for two retail tenants in the development identified as South Cape Village Shopping Center. The Planning Board approved the South Cape Village Shopping Center as a 160,000 s.f. Commercial Center on May 2, 2001. The special permit decision has been modified periodically over the past 20 years and has included and shown the future location of "Building G" being contemplated in the request for a special permit modification.



Town of Mashpee

Planning Board

16 Great Neck Road North
Mashpee, Massachusetts 02649

Approval Not Required

Applicant: Fain Gildea
Location: #22 and #26 Oyster Way (Map 89 Parcels 77 and 75 respectively)
Request: Purpose of the ANR is to show that there is adequate access to the parcels from Oyster Way and that there is 150' of frontage along River Road.

Chairman's Report

- Miscellaneous updates

Town Planner Report

- LCP Update
- Consultant procurement

Board Member Committee Reports

- Cape Cod Commission, Community Preservation Committee, Design Review, Plan Review, Environmental Oversight Committee, Historic District Commission, Military Civilian Advisory Council.

Correspondence

- Town of Falmouth Notices
- Town of Sandwich Notices
- Waterways Application – Kathryn and Alan Clapp – 3 Keelan Way
- Waterways Application – Stuart and Christine Nixdorff – 18 Little Neck Lane
- July 2021 Discharge Monitoring Report for South Cape Village – N= 5.8
- June 2021 Discharge Monitoring Report for South Cape Village – N= 2.7
- May 2021 Discharge Monitoring Report for South Cape Village – N=3.6

Additional Topics (not reasonably anticipated by Chair)

Adjournment

MASHPEE TOWN CLERK

SEP 10 2021

RECEIVED BY: _____



Kevin M. Kirrane
Brian F. Garner
Christopher J. Kirrane
Jessica C. Sommer

Patricia McGauley, *of Counsel*
Elizabeth A. McNichols, *of Counsel*
Michael A. Dunning, *of Counsel*

Nicole B. Norkevicius
Christopher A. Veara

July 22, 2021

Mr. John Fulone, Chairman
Mashpee Planning Board
16 Great Neck Road
Mashpee, MA 02649

Re: Special Permit Application
Longfellow Design Build, Inc.
9 Shellback Way

Dear Chairman Fulone:

As the record should reflect, my office represents the Applicant, Longfellow Design Build, Inc., with reference to the above-captioned property. An application for Special Permit Relief has been filed with the Board and a Public Hearing has been scheduled for Wednesday, August 4, 2021, at which it was anticipated a referral to the Cape Cod Commission would be made.

My clients have requested that the August 4th Hearing be postponed to August 18, 2021, to afford them sufficient time to complete a DRI Application, with supporting reports for submission on the Cape Cod Commission.

Thank you in anticipation of your cooperating.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Kevin M. Kirrane', written over a horizontal line.

Kevin M. Kirrane

KMK:amb



Kevin M. Kirrane
Brian F. Garner
Christopher J. Kirrane
Jessica C. Sommer

Patricia McGauley, *of Counsel*
Elizabeth A. McNichols, *of Counsel*
Michael A. Dunning, *of Counsel*

Nicole B. Norkevicius
Christopher A. Veara

June 22, 2021

Mr. Evan Lehrer
Mashpee Town Planner
16 Great Neck Road
Mashpee, MA 02649

RE: 9 Shellback Way
Mashpee, Massachusetts

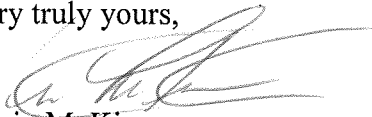
Dear Mr. Lehrer:

Enclosed for filing, please find an Application for a Special Permit along a check in the amount of 5,000.00, which sum represents the application fee, in connection with the above-captioned property.

I would ask that the Board place this matter on the next available agenda.

Should you have any questions in this regard, please do not hesitate to contact me.

Very truly yours,



Kevin M. Kirrane

KMK:amb
Enclosures



Town of Mashpee

Planning Board

16 Great Neck Road North
Mashpee, Massachusetts 02649

APPLICATION FOR SPECIAL PERMIT

Date 6/22 /21

The undersigned hereby applies for a Special Permit from the Planning Board.

Name of Applicant Longfellow Design Build Phone c/o DKM&G (508) 477-6500
c/o Kevin M. Kirrane, Esq., P. O. Box 560, Mashpee, MA 02649
Address

Owner, if different Faith J. Baptiste, Trustee of the Phone c/o DKM&G (508) 477-6500
Cushman Brownie Trust
Address 224 Mashpee Neck Road, Mashpee, MA 02649

Attach copies of (a) most recent recorded deed and (b) tax bill or Assessors' certification.

Deed of property recorded in Barnstable County Registry Book Page or
Land Court Certificate of Title No. 119704

Location and description of property 9 Shellback Way. A one+ acre parcel of land
with frontage on both Shellback Way and Route 28.

Mashpee Assessors Map(s) and Block(s) 81/132

Zoning District(s) in which property is located C-1

How long have you owned the property Since January 1990

Section(s) of the Zoning Bylaw which require the permit you seek 174-24C - 174-25E(1), E(2)

Present use of property Vacant Land (ZBA Special Permit and Variance Previously Granted)

Proposed use of property Retail Grovery Sales

Check one: Applicant will send notice to abutters via certified mail, with return
receipt to Mashpee Planning Board, and will provide certified abutters list.

xx Applicant requests that Planning Department send notice to parties in
interest via certified mail, and will provide labels and certified abutters list.

Signature of Owner or Authorized Representative

[Handwritten signature]

Attach written authorization signed by owner.

MASHPEE TOWN CLERK

JUN 22 2021

RECEIVED BY: [Handwritten initials]



Town of Mashpee

Planning Board

16 Great Neck Road, North
Mashpee, Massachusetts 02649

APPLICATION FOR SPECIAL PERMIT

Date 6/22 /21

The undersigned hereby applies for a Special Permit from the Planning Board.

Name of Applicant Longfellow Design Build Phone c/o DKM&G (508) 477-6500
c/o Kevin M. Kirrane, Esq., P. O. Box 560, Mashpee, MA 02649
Address _____

Owner, if different Faith J. Baptiste, Trustee of the Phone c/o DKM&G (508) 477-6500
Cushman Brownie Trust

Address 224 Mashpee Neck Road, Mashpee, MA 02649
Attach copies of (a) most recent recorded deed and (b) tax bill or Assessors' certification.

Deed of property recorded in Barnstable County Registry Book _____ Page _____ or
Land Court Certificate of Title No. 119704

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Applicant requests that Planning Department send notice to parties in interest via certified mail, and will provide labels and certified abutters list.

Signature of ~~Owner~~ or Authorized Representative
[Signature]

MASHPEE TOWN CLERK

Attach written authorization signed by owner. JUN 22 2021

RECEIVED BY: SM



**ZONING BOARD OF APPEALS
PETITIONER CHECKLIST**

The ZBA office will be unable to process your Petition(s) until all of the proper documents have been completed and submitted. The completed checklist (below) along with Board of Health and Conservation Commission signatures are required prior to filing your Petition(s) with the Town Clerk.

- Three (3) copies of completed Petition(s) filed with Town Clerk:
One (1) copy for Town Clerk.
Two (2) copies for the ZBA office.
- Filing Fee: \$125 for Residential Petitions. \$250 for Commercial Petitions.
- Three (3) sets of engineered site plans.
- Address/Tax Collector worksheet.
- Copy of Deed with Registry of Deeds Title Reference and/or Certificate of Title, Land Court, Plan Numbers.

Project Address: 9 Shellback Way

Cite appropriate By-Law(s) 174-24C, 175-25E(1)(2)

Is the property located within a **cluster subdivision**? YES NO

Is property located within a Special Permit area/Overlay District? YES NO

If YES, name of area/district _____

Bldg. Commissioner: _____
Signature Date

Board of Health: _____
Signature Date

Conservation Commission jurisdiction: YES NO

Conservation Agent's _____
Signature Date

TOWN OF MASHPEE BY-LAWS §112-1. Authority to Deny or Revoke; Cause: Any board, officer, committee or department may deny any application for or revoke or suspend any local license or permit, including renewals and transfers, for any person, corporation or business enterprise who has neglected or refused to pay any local taxes, fees assessments, betterments or any other municipal charges, or with respect to any activity, event or other matter which is subject of such license or permit and which activity, event or matter is carried out or exercised or is to be carried out or exercised on or about any real estate whose owner has neglected or refused to pay any local taxes, fees, assessments, betterments or any other municipal charges. History: Amended 10-6-1997, ATM, Article 24, approved by Attorney General 3-9-1998.



Town of Mashpee

16 Great Neck Road North
Mashpee, Massachusetts 02649

PLEASE SUBMIT FORM WITH ZBA PETITION AFTER OBTAINING TAX COLLECTOR AND
911 COORDINATOR SIGNATURES

Date: 6/22/2021

Property address: 9 Shellback Way

Assessor's Map # 81 Parcel # 132

I have reviewed the address. _____
GIS and E911 Coordinator Signature **Date**

I hereby attest that Faith J. Baptiste, Trustee of the Cushman Brownie Trust
OWNER OF RECORD
is (are) the owner(s) of the above-referenced property.

I hereby further attest that the owner of the above-cited property is not, to the best of my knowledge, in arrears of payment of any local taxes as may be applicable under Section 1 of Chapter 112 of the Mashpee Code.

Treasurer/Collector

Date

TRUSTEE ACCEPTANCE

The undersigned, FAITH J. BAPTISTE, hereby certifies that she has been appointed Co-Trustee of the Canning-Seapit Realty Trust by the beneficiary of said Trust, and I hereby accept my appointment as Co-Trustee due to the death of Jean P. Canning, the Co-Trustee who was serving (see Death Certificate registered as Document No. 1,062,749).

Executed this 14th day of November, 2007.

Faith J. Baptiste
FAITH J. BAPTISTE

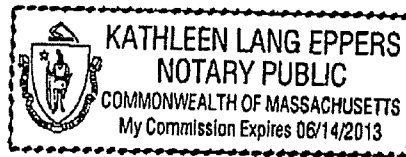
THE COMMONWEALTH OF MASSACHUSETTS

Certificate 122050
Document 518065
VDT 11/30/1990

Barnstable, ss

On this 14th day of November, 2007, before me, the undersigned notary public, personally appeared FAITH J. BAPTISTE, proved to me through satisfactory evidence of identification, being (check whichever applies) driver's license or other state or federal governmental document bearing a photographic image or my own personal knowledge of the identity of the signatory, to be the person whose name is signed above, and acknowledged the foregoing to be signed by her voluntarily for its stated purpose

Kathleen Lang Eppers
Notary Public



500127

119704

- hold on 3, 57865 99000

3

BARNSTABLE COUNTY
REGISTRY OF DEEDS
JOHN F. HEADE

JAN 31 11 45 AM '40

REGISTERED

(Please print or type)

46)

I, JEAN P. CANNING,

of Falmouth, Barnstable County, Massachusetts,

being unmarried, for consideration paid, and in full consideration of the sum referred to in deed recorded herewith as Document No. 500,120 grant to JPC Cathy Chauvin, Trustee of Cushman Brownie Trust, under Declaration of Trust dated January 19, 1990 and recorded at Barnstable Registry of Deeds herewith of P. O. Box 1061, North Falmouth, MA. with quitclaim returns

the land in Mashpee, Barn County

[Description and encumbrances, if any]

Lots #15, #16, #17 and #18 as shown on subdivision plan #35550^F filed with Certificate of Title #57868, and including the fee and any other rights in Seapit Way as shown on said plan.

LAND COURT, BOSTON. The land herein described will be shown on our approved plan to be as

JAN 2 1990

Plan 35550^F Lot 15, 16, 17 + 18 and the fee in Seapit Way (EXAMINED AS TO DESCRIPTION ONLY) Louis A. Moore, Engineer LMS

Witness my hand and seal this 26th day of January 19 90

Jean P. Canning

The Commonwealth of Massachusetts

Barnstable ss. January 26, 19 90

Then personally appeared the above named Jean P. Canning

and acknowledged the foregoing instrument to be her free act and deed before me

Michael W. Dunning Notary Public - JAMES BEAUFORT

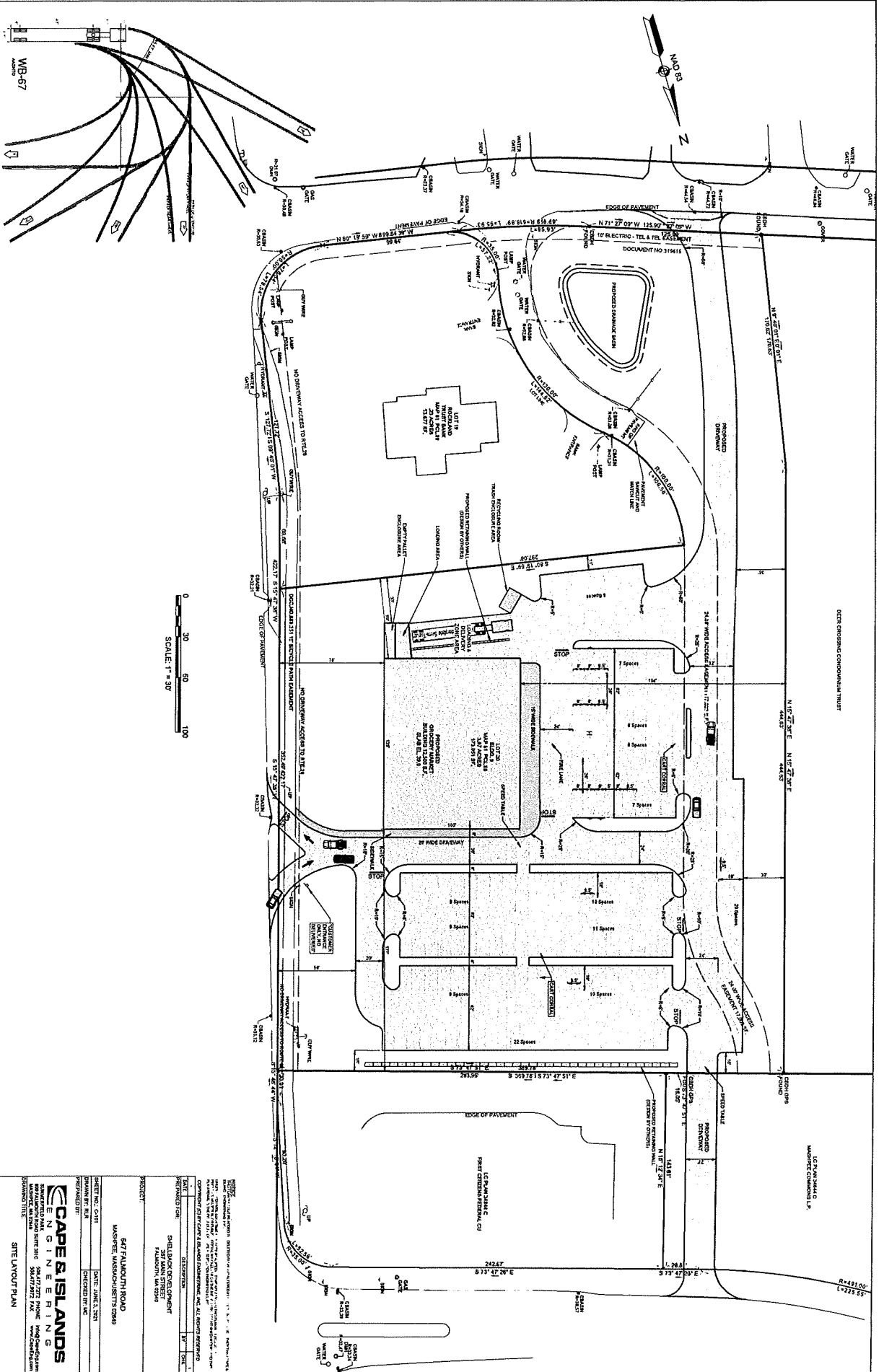
My commission expires 2/19/93 19

(Individual - Joint Tenants - Tenants in Common)

CHAPTER 183 SEC. 6 AS AMENDED BY CHAPTER 497 OF 1949

Every deed presented for record shall contain or have endorsed upon it the full name, residence and post office address of the grantor and a recital of the amount of the full consideration thereof in dollars or the nature of the other consideration therefor, if not delivered for a specific monetary sum. The full consideration shall mean the total price for the conveyance without deduction for any liens or encumbrances assumed by the grantee or remaining thereon. All such endorsements and recitals shall be recorded as part of the deed. Failure to comply with this section shall not affect the validity of any deed. No register of deeds shall accept a deed for recording unless it is in compliance with the requirements of this section.

17 18 + fee in Seapit Way 35550 F



NOTICE: THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF CAP & ISLANDS ENGINEERING, INC. AND SHALL REMAIN THE PROPERTY OF CAP & ISLANDS ENGINEERING, INC. IF YOU ARE A CLIENT OF CAP & ISLANDS ENGINEERING, INC. YOU MAY NOT REPRODUCE, COPY, OR TRANSMIT THIS PLAN OR SPECIFICATIONS IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF CAP & ISLANDS ENGINEERING, INC. ANY VIOLATION OF THIS NOTICE SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL SEAL AND ALL RIGHTS RESERVED.

DATE	DESCRIPTION	BY	CHK
01/15/2011	PREPARED BY	DAVID J. LAMBERT	
01/15/2011	CHECKED BY	DAVID J. LAMBERT	

PROJECT: SHILBROOK DEVELOPMENT
 647 FAULKNER ROAD
 MASSAPEQUET, MASSACHUSETTS 02648
 CAP & ISLANDS ENGINEERING, INC.
 350 WILLOW STREET
 FAULKNER CROSSING

CLIENT: CAP & ISLANDS ENGINEERING, INC.
DATE: JANUARY 15, 2011
PROJECT NO.: 02648

SCALE: 1" = 30'
DATE: JANUARY 15, 2011

WB-67

CAP & ISLANDS ENGINEERING
 350 WILLOW STREET
 FAULKNER CROSSING
 MASSAPEQUET, MASSACHUSETTS 02648
 WWW.CAPANDISLANDS.COM

CASH ONLY IF ALL CheckLock™ SECURITY FEATURES LISTED ON BACK INDICATE NO TAMPERING OR COPYING

34048

Longfellow Design Build

866 Main Street
Osterville, MA 02655
508-428-3999

MARTHA'S VINEYARD SAVINGS BANK
397 PALMER AVENUE
FALMOUTH, MA 02540
53-7292/2113

6/17/2021

PAY TO THE ORDER OF town of Mashpee

\$ **5,000.00

Five Thousand and 00/100***** DOLLARS

PROTECTED AGAINST FRAUD

© 2014 INTRUF, INC. 1-800-433-8810



Town of Mashpee
16 Great Neck Road North
Mashpee, MA 02649

Void after 90 days



MEMO

647 falmouth road

Kim Norton

⑈034048⑈ ⑆211372925⑆ 45200128⑈



Town of Mashpee

Planning Board
16 Great Neck Road North
Mashpee, Massachusetts 02649

July 14, 2021

Property Owner:

Baptiste, Faith J Trs

Applicant:

Longfellow Design Build

Subject Property:

9 Shellback Way / 647 Falmouth Road
Mashpee, MA 02649 (Map 81, Lot 132)

Dear Property Owner:

As the owner of record of property located within 300' from the subject property above, you are being notified that the Mashpee Planning Board is opening a public hearing on Wednesday, **August 4, 2021 at 7:10 PM in the Waquoit Meeting Room, Mashpee Town Hall, 1st Floor, 16 Great Neck Road North, Mashpee, MA 02649** regarding the following special permit application:

Longfellow Design Build (applicant) has filed a special permit application to construct a 12,500 s.f. commercial building to be used for retail grocery sales on a 1 acre +/- parcel located at property addressed as 9 Shellback Way / 647 Falmouth Road, Mashpee, MA 02649. This application is made pursuant to Sections 174-24C (1) and under Section 174-25 E (1) and 174-25 E (2) of the Mashpee Zoning Bylaws.

This application triggers a mandatory referral to the Cape Cod Commission for review as a Development of Regional Impact and as such, no public comments will be solicited at the opening of the public hearing on August 4, 2021. The Planning Board will open the public hearing solely to make the referral to the Cape Cod Commission. Further deliberations will be suspended until the Cape Cod Commission refers the project back to the Planning Board for local review. You will be notified again in writing of when the public hearing will reopen and comments on the project will be taken.

If you have any questions regarding this project in the interim please feel free to contact me directly at the contact information provided below.

Sincerely,

Evan R. Lehrer, Town Planner
elehrer@mashpeema.gov
508-539-1400 x8521



Eliza Cox

Direct Line: 508-790-5431

Fax: 617-310-9191

E-mail: ecox@nutter.com

August 31, 2021

#115991-6

Via e-mail

John Fulone, Chairman
Mashpee Planning Board
16 Great Neck Road North
Mashpee, MA 02649

Re: DPF Mashpee, LLC - South Cape Village
Modification of Special Permit Decision

Dear Chairman Fulone:

On behalf of DPF Mashpee, LLC, the applicant in the above-referenced Modification of Special Permit application, I am writing to request that the public hearing currently scheduled for September 1, 2021 be continued, without testimony, to the September 14, 2021 Planning Board hearing agenda.

Please advise if this letter will be sufficient to effectuate this request or if any additional information is needed.

I apologize for any inconvenience and thank you for your assistance and consideration.

With best regards, I am,

Very truly yours,

Eliza Cox

EZC:cam

5292621.1



Town of Mashpee

*16 Great Neck Road North
Mashpee, Massachusetts 02649*

Mashpee Planning Board Public Hearing Notice

Pursuant to Massachusetts General Laws, Chapter 40A Section 9, the Mashpee Planning Board will open a public hearing on Wednesday, September 1, 2021 at 7:10 PM in the Waquoit Meeting Room, Mashpee Town Hall, 1st Floor, 16 Great Neck Road North, Mashpee, MA 02649 to consider an application requesting a special permit modification made by DPF Mashpee LLC to construct a commercial building (identified as Building G in the approved Special Permit plans) to be used for retail sales in the development identified as South Cape Village Shopping Center located between Route 28, Donna's Lane, and Great Neck Road South. The Planning Board approved the South Cape Village Shopping Center as a 160,000 square foot Commercial Center on May 2, 2001 and the special permit decision has been modified from time to time over the past 20 years and has included and shown the future location of "Building G" being contemplated in this request for a special permit modification.

Submitted by:

John Fulone, Chair
Mashpee Planning Board

Publication dates: Friday, August 13 2021
 Friday, August 20, 2021

MASHPEE TOWN CLERK

AUG 06 2021

RECEIVED BY: _____



Eliza Cox
Direct Line: 508-790-5431
Fax: 617-310-9191
E-mail: ecox@nutter.com

July 28, 2021
0115991-00006

By Hand Delivery

Evan Lehrer, Town Planner
Town of Mashpee
16 Great Neck Road North
Mashpee, MA 02649

Re: South Cape Village, Mashpee
Modification of Special Permit Decision dated May 21, 2001 (as modified)

Dear Evan:

This firm represents DPF Mashpee, LLC (hereafter, "DPF"), owner of the South Cape Village Shopping Center (the "Property"), pursuant to the deed recorded with the Barnstable County Registry of Deeds (the "Registry") in Book 28780, Page 94, and recorded with the Barnstable County Registry District of the Land Court as document number 1,266,509 (hereafter, the "DPF Deed"). The Property has the benefit of a May 2, 2001 special permit decision from the Mashpee Planning Board, recorded with the Registry in Book 16641, Page 122, allowing the development of a 160,000 square foot Commercial Center which has been subsequently modified over the past 20 years (hereafter, the "Decision").

DPF seeks to further modify the Decision as described in the enclosed application materials and plans in connection with its proposed construction of so-called "Building G." The plans approved by the Decision showed the future construction of Building G at approximately 5,900 square feet in the proposed location. As shown on the materials included in this filing, DPF proposes to slightly reduce the size of the structure so that it will consist of approximately 4,860 square feet and is designed to accommodate two retail tenants: Sherwin Williams Paints and a future tenant not yet identified. As part of the Decision, the Mashpee Planning Board allowed for alternate setbacks within the commercial center and, with this filing, DPF also seeks to confirm the proposed setbacks at approximately 4.2 feet from Charles Street as consistent with the Decision. The proposed setback off Route 28 meets the setbacks as established by the Decision.

In support of this proposal, I enclose the following information:

1. Fourteen (14) copies of the completed Application for Special Permit Modification, as stamped by the Town Clerk's office, with attached description of



Evan Lehrer, Town Planner
July 28, 2021
Page 2

the project. A copy of the application materials and supporting plans were also left with the Town Clerk.

2. Five (5) copies of the civil site plans entitled "Proposed Building G at South Cape Village Shopping Center Mashpee, Massachusetts" dated July 10, 2021, prepared by Baxter Nye Engineering & Surveying, Inc., showing the proposed site improvements.
3. Five (5) copies of the architectural plans entitled "DPF Mashpee, LLC 650 Falmouth Road, Mashpee, MA 02649" prepared by Phase Zero Design dated July 20, 2021.
4. Check no. 83341 in the amount of \$530.00 representing the filing fee. I will be providing you the additional \$5000 fee under separate cover per the Board's recently revised fee regulations to be held in escrow for the Town's consulting engineer fees.
5. One (1) copy of the DPF Deed.
6. Fourteen (14) copies of a document listing the original Decision and its modifications.

Please let me know if you need additional information to complete the filing. We have also filed for Plan Review / Design Review and are scheduled for the August 17, 2021 agenda. If possible, we request that this special permit modification be scheduled for a hearing at the Planning Board's September 1st agenda.

Please let me know if you have any questions or require any additional information. In addition, the Town's Consulting Engineer should feel free to contact Matthew Eddy at Baxter Nye Engineering & Surveying directly (508-771-7502) with any technical questions or comments.

Thank you very much for your assistance.



Evan Lehrer, Town Planner
July 28, 2021
Page 3

With best regards, I remain,

Very truly yours,

A handwritten signature in cursive script that reads "Eliza Cox".

Eliza Cox

EZC:
Enclosures

cc: DPF Mashpee, LLC
Karen Johnson, Charter Realty & Development
Matthew Eddy, Baxter Nye Engineering and Surveying, Inc.

5229597.1

JUL 28 2021



Town of Mashpee RECEIVED BY: [Signature] Planning Board

16 Great Neck Road North
Mashpee, Massachusetts 02649

APPLICATION FOR SPECIAL PERMIT MODIFICATION

Date received by Town Clerk: _____ Town Clerk Signature / Seal: _____

The undersigned hereby applies for a Modification of the Special Permit approved by the Mashpee Planning Board on May 2, 2001 for a project entitled SOUTH CAPE VILLAGE.

The original Special Permit and any Modifications have been recorded in the Barnstable County Registry of Deeds at the following Book(s) and Page(s): 16641/122 with multiple modifications; last modification dated 5/3/17 recorded in Book 30563, Page 222.

Name of Applicant DPF Mashpee, LLC Phone _____

Address c/o Dividend Capital Diversified Property Fund, 518 17th Street, 17th Floor
Denver, CO 80208

Owner, if different N/A Phone _____

Address N/A

Attach copies of (a) most recent recorded deed and (b) tax bill or Assessors' certification.

Deed of property recorded in Barnstable County Registry Book 28780 Page 94
or Land Court Certificate of Title No. 1,266,509

Location and description of property: South Cape Village Center, located between Route 28, Donna's Lane and Great Neck Road South

Mashpee Assessors Map(s) and Block(s): Map 81, Blocks 4, 16, and 25

Zoning District(s) in which property is located: C-1

How long have you owned the property? Since April, 2015

Section(s) of the Zoning Bylaw which require(s) the permit you seek: Section 174-45.1, Commercial Center

Present use of property: Commercial Center Shopping Center

Description of proposed modification (attach plans and documents as required by the Zoning By-law and Special Permit Regulations):

PLEASE SEE ATTACHED DESCRIPTION

Signature of Owner or Authorized Representative Eleya Cox Esq.

Attach written authorization signed by owner.

SOUTH CAPE VILLAGE – SPECIAL PERMIT MODIFICATION

Brief Description of Proposed Modification

Project involves construction of so-called “Building G” which was pre-approved for 5,900 square feet in the proposed location as part of the May 2, 2001 Commercial Center special permit (as amended, hereafter the “Decision”) authorizing construction of a 160,000 square foot shopping center known as South Cape Village. As depicted on the plans, Building G is proposed as a 4,860 square foot building with two retail tenants. Pursuant to §174-45.1.I, this petition also seeks to confirm the setbacks (which were already adjusted by the Decision) to 4.2 feet from Charles Street. The proposed building meets the Route 28 setbacks as established under the Decision. Following construction of the proposed Building G, the commercial center will consist of 8 buildings collectively totaling approximately 151,860 square feet.

5229509.1

MASSACHUSETTS STATE EXCISE TAX
BARNSTABLE LAND COURT REGISTRY
Date: 04-03-2015 @ 11:42am
Ct#: 565 Doc#: 1266509
Fee: \$121,239.00 Cons: \$35,450,000.00

QUITCLAIM DEED

MASHPEE INVESTORS, LLC, a Massachusetts limited liability company ("Grantor"), for consideration paid of Thirty-Five Million Four Hundred Fifty Thousand Dollars and 00/100 (\$35,450,000.00), grants to **DPF MASHPEE LLC**, a Delaware limited liability company, having a place of business at 518 17th Street, 17th Floor, Denver, Colorado 80202 ("Grantee"), with quitclaim covenants, the land, together with the improvements thereon, in Barnstable County, Massachusetts, commonly known and numbered as 11 Commercial Street, 88 Commercial Street, 672 Falmouth Road and 694 Falmouth Road, in the Town of Mashpee, County of Barnstable, State of Massachusetts, being more particularly described on Exhibit A attached hereto and incorporated herein by reference (collectively, the "Premises").

Grantor has not elected to be taxed as a corporation for federal tax purposes.

The Premises are conveyed subject to and with the benefit of all rights, easements, agreements, restrictions, covenants, and other matters of record, in so far as the same are in force and applicable.

The Premises are conveyed subject to all real estate taxes and assessments for the current fiscal year and for all future fiscal years which are not yet due and payable, all of which the Grantee, by acceptance hereof, agrees to pay.

For Grantor's title, see (i) deed from Charles M. Talanian, Trustee of Chatal Realty Trust, dated June 7, 1999 and filed with the Barnstable Registry District of the Land Court as Document No. 771694, (ii) deed from Chatal Associates dated December 29, 1999 and recorded in the Barnstable County Registry of Deeds in Book 12775 Page 114 and (iii) deed from Chatal Associates dated December 29, 1999 and recorded with said Registry of Deeds in Book 12775 Page 118.

[Signature on following page.]

BARNSTABLE COUNTY EXCISE TAX
BARNSTABLE LAND COURT REGISTRY
Date: 04-03-2015 @ 11:42am
Ct#: 565 Doc#: 1266509
Fee: \$95,715.00 Cons: \$35,450,000.00

After recording, please return to:

DPF MASHPEE LLC
518 17th Street, 17th Floor
Denver, Colorado 80202

DOWNNA'S LANE - MASHPEE
11 Commercial Street, 88 Commercial Street, 672 Falmouth Road and 694 Falmouth Road, Mashpee, Barnstable County

4

Witness my hand and seal as of the 17 day of March, 2015.

MASHPEE INVESTORS, LLC,
a Massachusetts limited liability company

By: C. Talanian Realty Co., Inc., a Massachusetts
corporation, its sole manager

By: [Signature]
Name: Chris Talanian
Title: Vice President

COMMONWEALTH OF MASSACHUSETTS

County of Suffolk, ss

On this 17 day of March, 2015, before me, the undersigned notary public, personally appeared Christopher Talanian, as Vice President of C. Talanian Realty Co., Inc., the manager of Mashpee Investors, LLC, a Massachusetts limited liability company, proved to me through satisfactory evidence of identification, which was a Massachusetts driver's license, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he signed it voluntarily for its stated purpose in said capacity and that he had the authority to sign the document in such capacity.

[Signature]

Notary Public: Russell K. Dunning
My commission expires: August 12, 2021

EXHIBIT A

Legal Description

Registered Land:

The land, with the buildings thereon, situated in Mashpee in the County of Barnstable and Commonwealth of Massachusetts, bounded and described as Lot 3 and fee in Donna's Lane on LC Plan 32122-C

Said land is subject to the rights granted in an easement given to the Cape & Vineyard Electric Company, dated April 23, 1965 being Document No. 95,970.

Said land is subject to a taking of Great Neck Road by the Town of Mashpee, dated March 31, 1970 being Document No. 137,619.

So much of said land as lies within the limits of Jobs Fishing Road as shown on said plan is subject to the rights of all persons lawfully entitled thereto in and over the same.

Said land is subject to and has the benefit of the reservations as set forth in Documents 475,431 and 475,432 both dated December 29, 1988.

CT# 153906

Recorded Land:

The land, with the buildings thereon, situated in Mashpee in the County of Barnstable and Commonwealth of Massachusetts, shown as Lot numbered 1, 3 and 4 on plan entitled "Plan of Land in Mashpee, Mass., for William A. Harris, dated January 25, 1973, Charles N. Savery Inc., Registered Engineers and Surveyors", duly recorded with Barnstable County Registry of Deeds, Plan Book 271, Page 63, being more particularly bounded and described as follows:

WESTERLY by Route 28, 260.00 feet;

NORTHERLY by land now or formerly of Edward R. Wasil (L.C. #32122A) as shown on said plan, 790.78 feet;

SOUTHEASTERLY by Lot numbered 5 on said plan, 371.27 feet;

SOUTHERLY by Lot numbered 3 on said plan, 423.75 feet;

WESTERLY again by Lot numbered 2 on said plan, 23.00 feet; and

SOUTHERLY again by said Lot numbered 2, 200.00 feet.

Containing 4.25 acres or 185,011 square feet, according to said plan.

The premises are conveyed subject to Electric Company Easement over the easterly portion of said premises as shown on said plan.

Locus is also shown as Lots 1, 2A and 3 on plan entitled, "Definitive Subdivision for South Cape Village, Mashpee, MA Lot 3", prepared by Baxter Nye Engineering & Surveying dated 11/25/08 and recorded with said Deeds in Plan Book 634, Plan 43-44.

Easements:

Easement for wastewater facilities as set forth in Reciprocal Easement Agreement filed with said Registry District as Document Number 969379 and recorded with said Registry of Deeds in Book 18677, Page 280.

Easement for private road and related uses as set forth in Declaration of Cross Easements and License recorded with said Registry of Deeds in Book 17547, Page 111.

BARNSTABLE COUNTY
REGISTRY OF DEEDS
A TRUE COPY, ATTEST
John F. Meade
JOHN F. MEADE, REGISTER

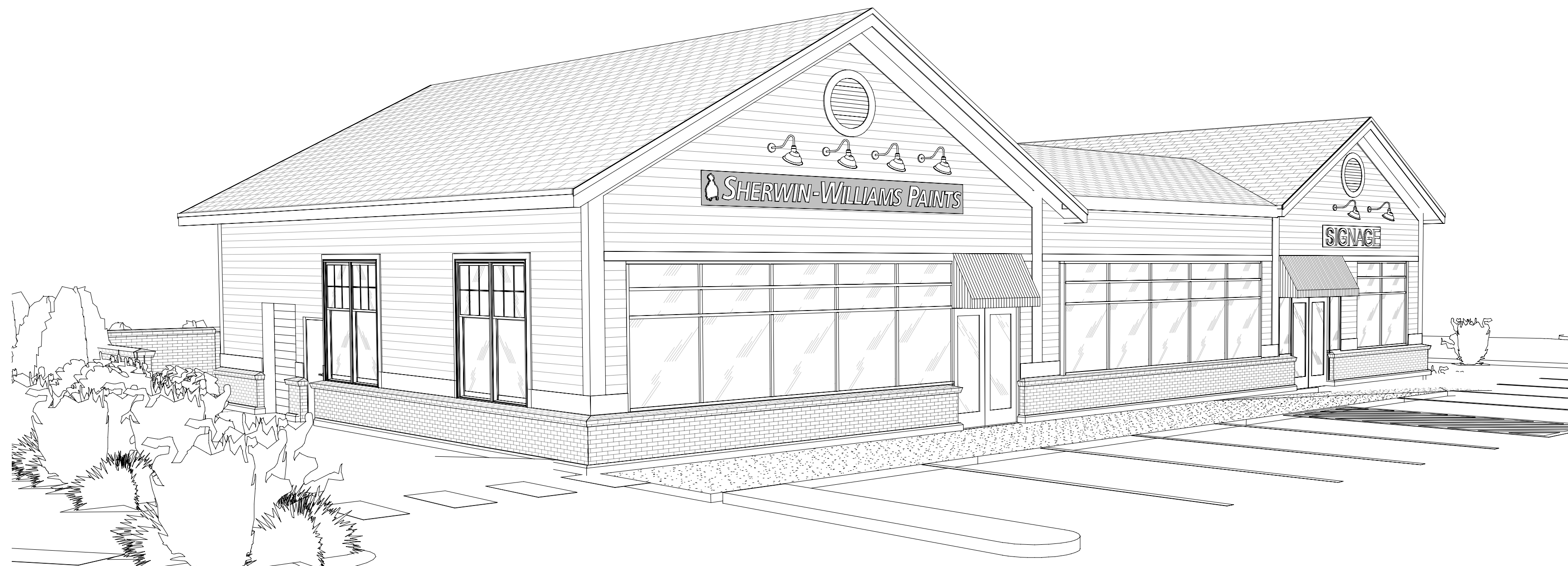
BARNSTABLE REGISTRY OF DEEDS
John F. Meade, Register

SOUTH CAPE VILLAGE, MASHPEE

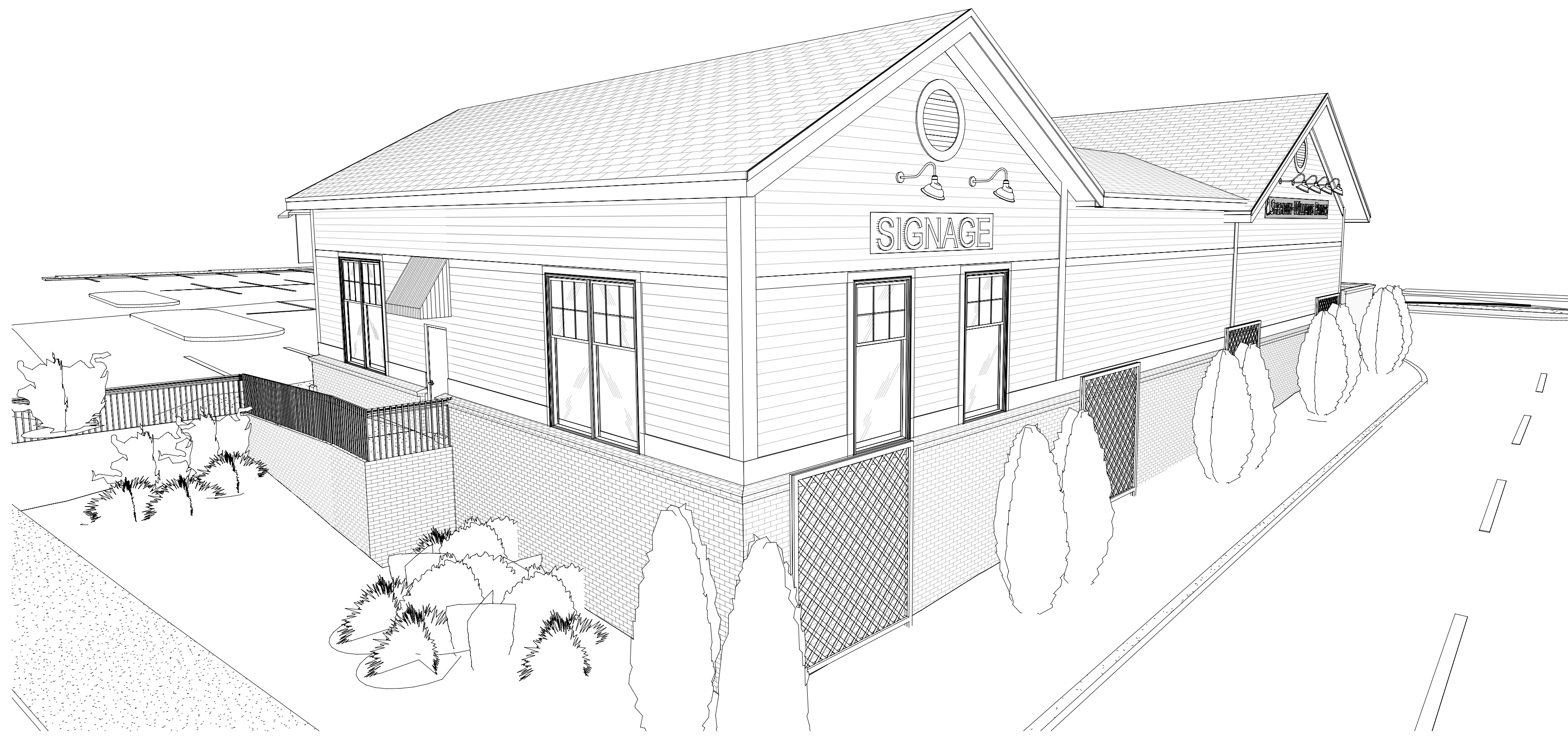
Addendum to Special Permit Modification Application

Planning Board Decision and Modifications

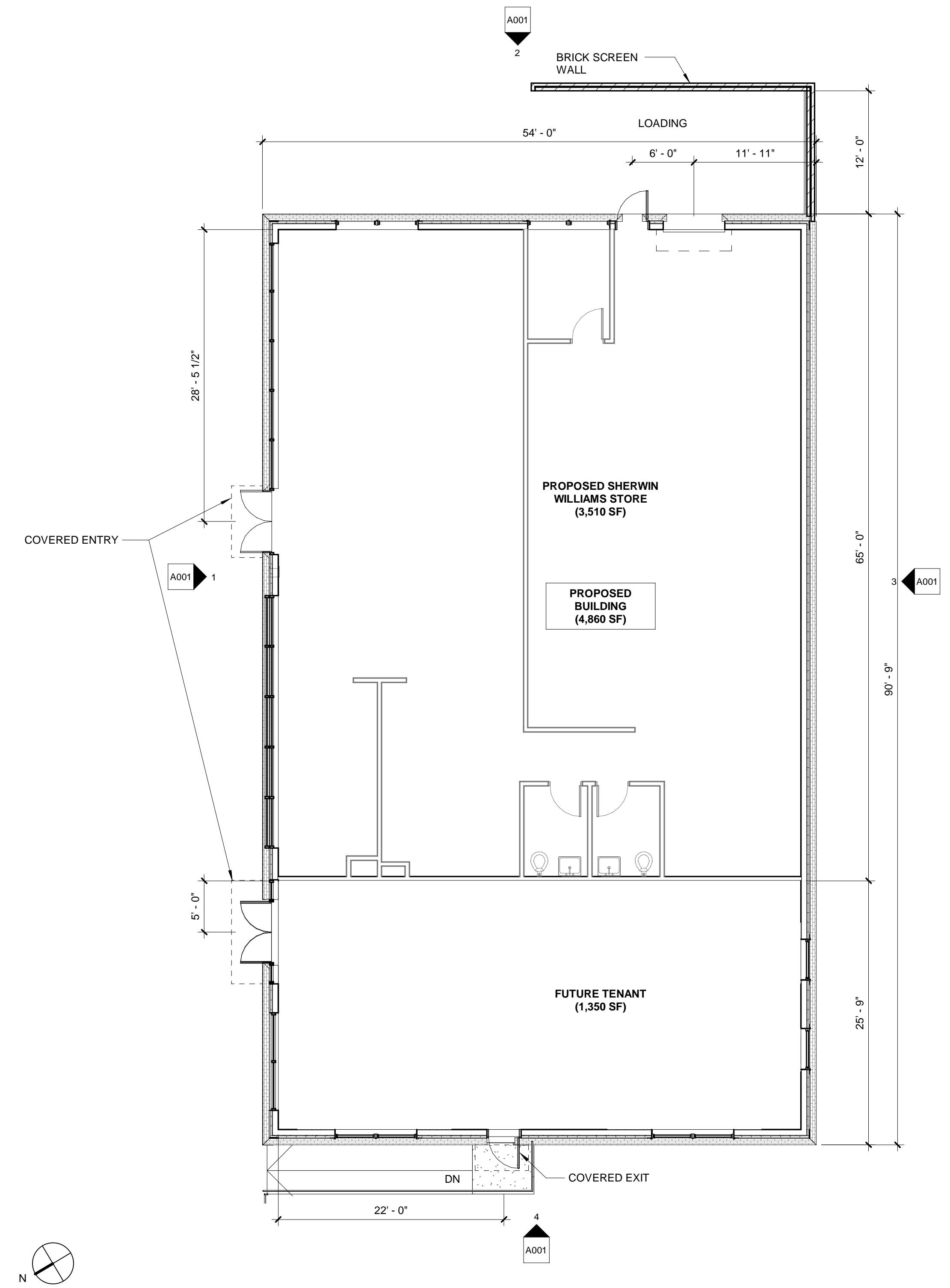
1. Original Decision dated May 2, 2001, recorded in Book 16641, Page 122
2. Modification dated April 23, 2003, recorded in Book 17302, Page 133
3. Modification dated August 4, 2004 (plan change, no hearing)
4. Modification dated October 19, 2005, recorded in Book 20500, Page 265
5. Modification dated February 15, 2006 (plan change, no hearing)
6. Modification dated January 3, 2007 (plan change, no hearing)
7. Modification dated April 4, 2007 (plan change, no hearing)
8. Modification dated November 7, 2007 (plan change, no hearing)
9. Modification dated December 19, 2007 (plan change, no hearing)
10. Modification dated April 16, 2008, recorded in Book 23085, Page 29
11. Modification dated June 18, 2008, recorded in Book 23242, Page 169
12. Modification dated September 2, 2009 (plan change, no hearing)
13. Decision on Request for Reconsideration of Disapproval of Modification, dated February 3, 2010, recorded in Book 24530, Page 222
14. Modification dated February 3, 2010, recorded in Book 24530, Page 216
15. Modification dated November 3, 2010, recorded in Book 25009, Page 212 (plan change, no hearing)
16. Modification dated September 21, 2011 (plan change, no hearing)
17. Modification dated October 7, 2015, recorded in Book 29215, Page 52
18. Acceptance of Revised Special Permit Site Plan dated February 3, 2016, recorded in Book 29450, Page 145
19. Modification dated May 3, 2017, recorded in Book 30562, Page 222



PERSPECTIVE 1

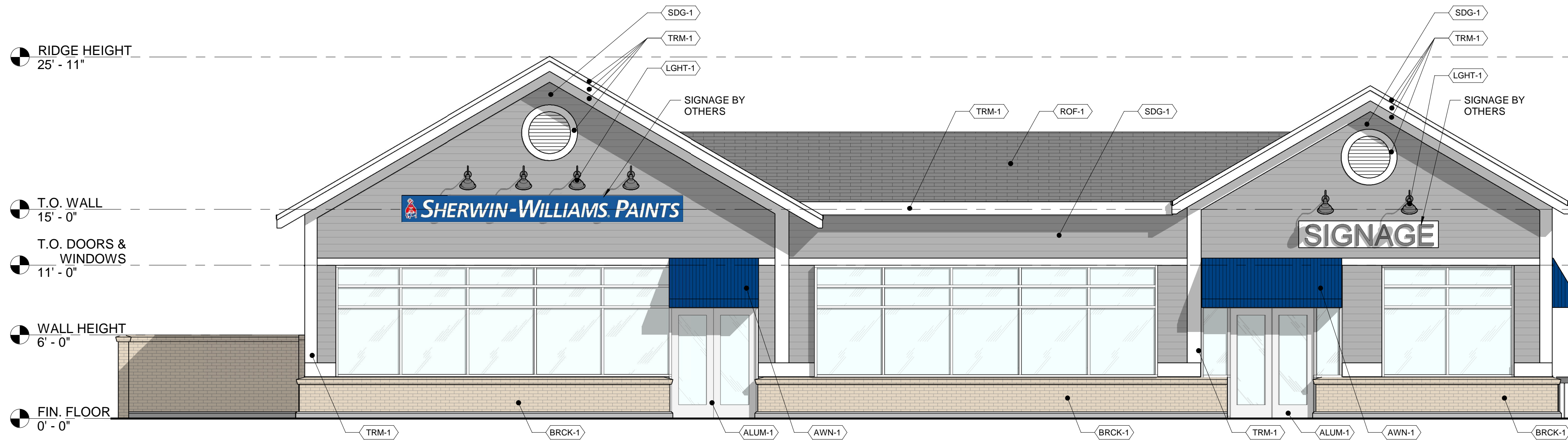


PERSPECTIVE 2

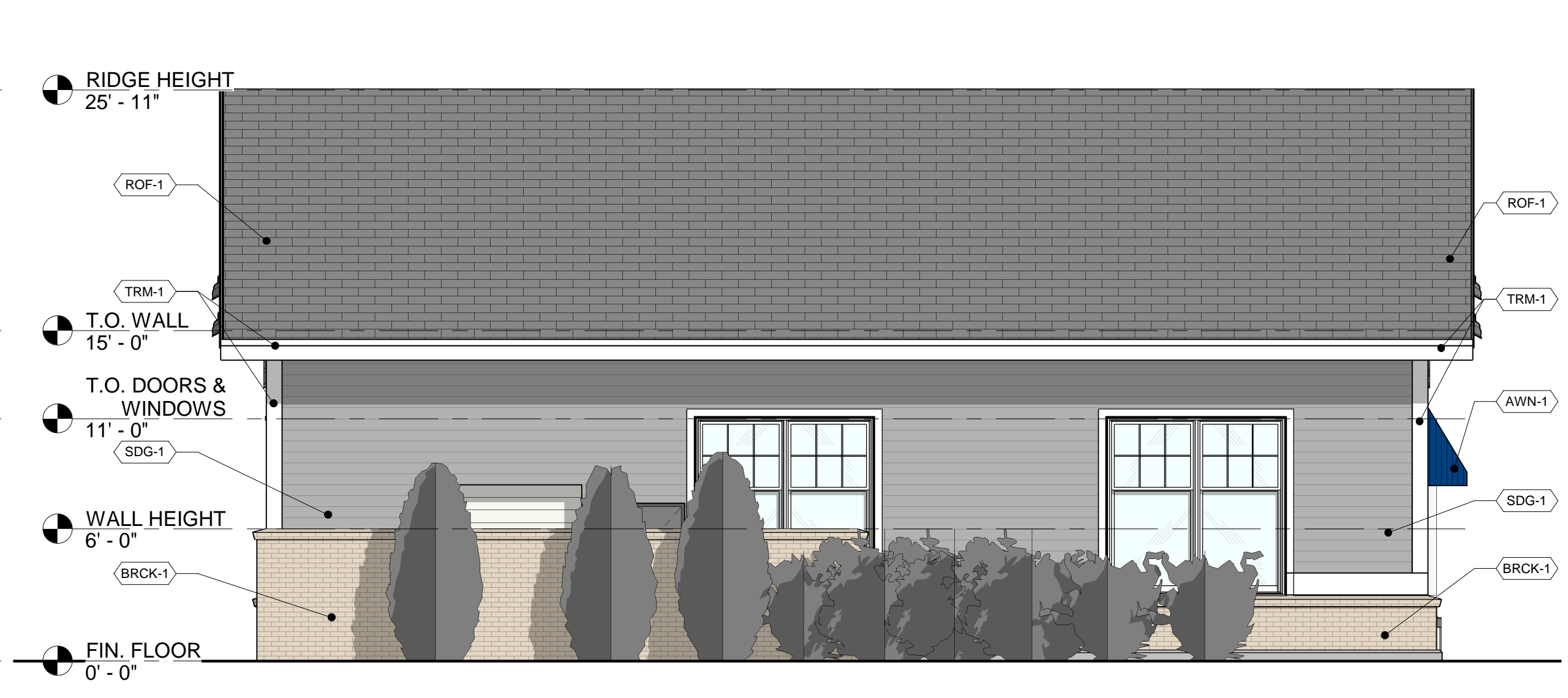


SCHEMATIC PLAN

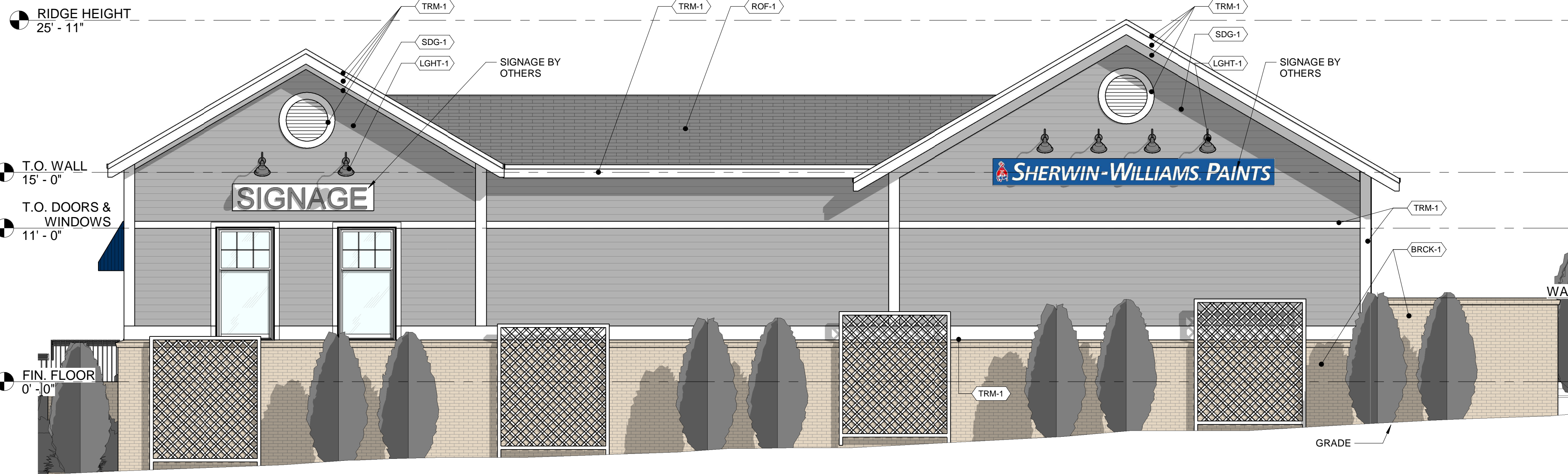
SCALE: 1/8" = 1'-0"



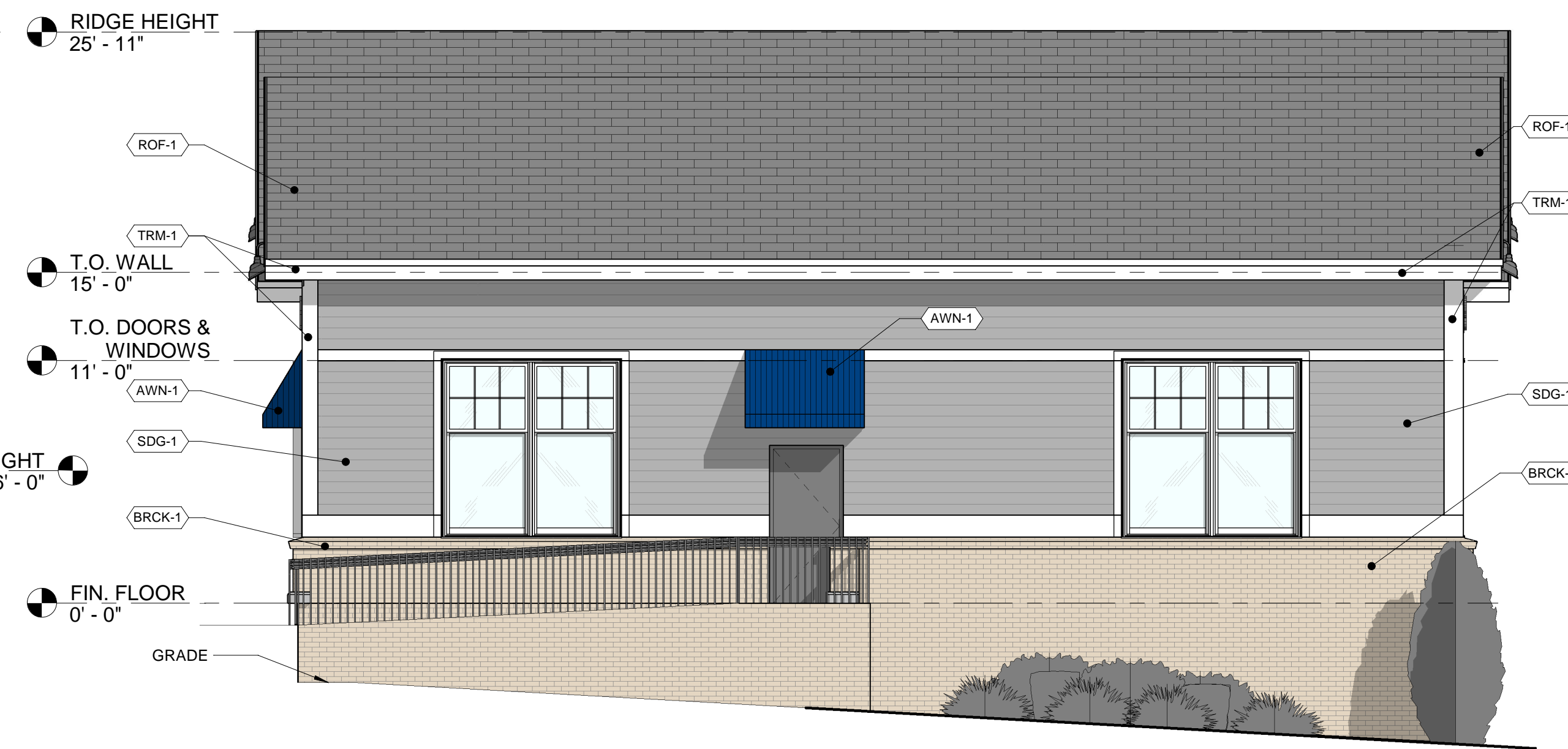
1 EXTERIOR ELEVATION (FACING PARKING)
SCALE: 3/16" = 1'-0"



2 SIDE ELEVATION
SCALE: 3/16" = 1'-0"



3 EXTERIOR ELEVATION (FACING CHARLES STREET)
SCALE: 3/16" = 1'-0"



4 SIDE ELEVATION
SCALE: 3/16" = 1'-0"

FINISH LEGEND			
CODE	DESCRIPTION	MANUFACTURER	COLOR
ALUM-1	STOREFRONT	KAWNEER	BLACK
AWN-1	FABRIC OVER METAL FRAME AWNING	TBD	BLUE
BRCK-1	BRICK	GLEN-GERY	EXTRUDED, PEARL RIVER - WIRECUT
LGHT-1	GOOSENECK LIGHT	TO MATCH ADJACENT BUILDINGS	BLACK
ROF-1	SHINGLE ROOF	TBD	NICKEL GREY (TO MATCH ADJACENT BUILDINGS)
SDG-1	FIBER CEMENT LAP SIDING	JAMES HARDIE SIDING	7" EXPOSURE, SMOOTH, TRADITIONAL GREY
TRM-1	FIBER CEMENT FASCIA BOARD	JAMES HARDIETRIM BOARD	SMOOTH - WHITE



ROOFING - NICKEL GREY ROF-1
SCALE: 1 1/2" = 1'-0"



LAP SIDING - HARDIE PLANK - MIST GREY SDG-1
SCALE: 1 1/2" = 1'-0"



GOOSENECK SIGNAGE LIGHT LGHT-1
SCALE: 1 1/2" = 1'-0"



BRICK - GLEN GERY PEARL RIVER WIRECUT BRCK-1
SCALE: 1 1/2" = 1'-0"

LEGEND

Table with 2 columns: EXIST and PROP (BLACK TEXT REPRESENTS "PROPOSED" INFORMATION). Rows include PROPERTY LINE, RIGHT-OF-WAY/PROPERTY LINE, EASEMENT, BUILDING SETBACK, STATE HIGHWAY BASELINE, BASELINE, CONSTRUCTION LAYOUT, ZONING LINE, TOWN LINE, STATE LINE.

Table with 2 columns: EXIST and PROP. Rows include GRAVEL ROAD, EDGE OF PAVEMENT, BITUMINOUS CURB, CAPE COO BERM, PRECAST CONC. CURB, VERT. GRAN. CURB, SLOPED GRAN. CURB, LIMIT OF CURB TYPE, SAWCUT, MATCHLINE.

Table with 2 columns: EXIST and PROP. Rows include SOLID WHITE LINE, SOLID YELLOW LINE, BROKEN WHITE LINE, BROKEN YELLOW LINE, SOLID WHITE CHANNELIZING LINE, SOLID YELLOW CHANNELIZING LINE, DOUBLE YELLOW LINE, STOP LINE.

Table with 2 columns: EXIST and PROP. Rows include STEEL GUARD RAIL, WOOD GUARD RAIL, STOCKADE FENCE, PATH, TREE LINE, CHAIN LINK FENCE, STONE WALL, RETAINING WALL, HAY BALES.

Table with 2 columns: EXIST and PROP. Rows include MINOR CONTOUR, MAJOR CONTOUR, TOP OF SLOPE, BOTTOM OF SLOPE.

Table with 2 columns: EXIST and PROP. Rows include BUILDING, BUILDING DOOR, LOADING DOCK, OVERHEAD DOOR, BOLLARD, DUMPSTER PAD, SIGN, DOUBLE SIGN, PARKING METER.

Table with 2 columns: EXIST and PROP. Rows include PARKING COUNT, COMPACT PARKING STALLS, CROSSWALK, CROSSWALK.

Table with 2 columns: EXIST and PROP. Rows include CONC. PAVEMENT, STANDARD DUTY FLEXIBLE PAVEMENT, HEAVY DUTY FLEXIBLE PAVEMENT, HANDICAP RAMP, HANDICAP PARKING, VAN-ACCESSIBLE HANDICAP PARKING, VAN, CART CORRAL.

Table with 2 columns: EXIST and PROP. Row: DETAIL OR SECTION REFERENCE.

Table with 2 columns: EXIST and PROP. Rows include WETLANDS, 50' WETLAND BUFFER, 100' WETLAND BUFFER, 200' WETLAND BUFFER, LIMIT OF WETLANDS, WETLAND FLAG, 100 YEAR FLOOD PLAIN, MITIGATION AREA LINE, EDGE OF WATER.

Table with 2 columns: EXIST and PROP. Rows include TELEPHONE MANHOLE, TELEPHONE MARKER, TRAFFIC SIGNAL, SIGNAL BOX, FIRE ALARM CONTROL PANEL, FIRE ALARM BOX, TRANSFORMER PAD, TELEPHONE RISER, MAIL BOX.

ABBREVIATIONS

GENERAL

Table of abbreviations for general construction elements. Rows include ABAN (ABANDON), ADJ (ADJUST), APPROX (APPROXIMATE), BB (BITUMINOUS BERM), BC (BITUMINOUS CURB), BOC (BOTTOM OF CURB), BOS (BOTTOM OF SLOPE), BOW (BOTTOM OF WALL), CC (CONCRETE CURB), CCB (CAPE COO BERM), COB (COBBLESTONE EDGING), ECB (EROSION CONTROL BLANKET), ELEV (ELEVATION), EXIST (EXISTING), EQ. (EQUAL), FDC (FIRE DEPT. CONNECTION), FDN (FOUNDATION), FT (FINISHED FLOOR ELEVATION), GB (GRADE BREAK), GB (GRANITE CURB), GC (GRANITE EDGING), GE (GRANITE CURB), HC (HANDICAP), HMA (HOT MIX ASPHALT), HP (HIGH POINT), LA (LANDSCAPE AREA), LP (LOW POINT), MAX (MAXIMUM), MIN (MINIMUM), MCC (MONOLITHIC CONCRETE CURB), MHB/EP LP (MASS HIGHWAY BOUND/ ESOUTOCHEN PIN LEAD PLUG), NIC (NOT IN CONTRACT), NTS (NOT TO SCALE), PCC (PRECAST CONCRETE CURB), PROP (PROPOSED), PWH (PAVED WATER WAY), REMOD (REMODEL), REM (REMOVE), RAR (REMOVE AND RESET), RAS (REMOVE AND STACK), RET (RETAIN), SGE (SLOPED GRANITE EDGING), SOC (SLOPED GRANITE CURB), TEG (TIE INTO EXISTING GRADE), TOC (TOP OF CURB), TOF (TOP OF FOUNDATION), TOS (TOP OF SLOPE), TOW (TOP OF WALL), TYP (TYPICAL), UON (UNLESS OTHERWISE NOTED), VF (VERIFY IN FIELD BY CONTRACTOR), VGC (VERTICAL GRANITE CURB).

UTILITY

Table of abbreviations for utility elements. Rows include ACOMP (ASPHALT COATED CORRUGATED METAL PIPE), CAP (CORRUGATED ALUMINUM PIPE), CIP (CAST IRON PIPE), CIT (CHANGE IN TYPE), CMP (CORRUGATED METAL PIPE), COND (CONDUIT), CPP (HIGH DENSITY POLYETHYLENE CORRUGATED PLASTIC PIPE - SMOOTH INTERIOR), CS (CURB STOP FOR WATER LINE), DIP (DUCTILE IRON PIPE), DS (DOWN SPOUT), E (ELECTRIC), F&C (FRAME AND COVER), FAG (FRAME AND GRATE), G (GAS), HYD (HYDRANT), ID (INTERCEPTOR DRAIN), INV (INVERT ELEVATION), PD (PERFORATED DRAIN), PVC (POLYVINYL CHLORIDE PIPE), RCP (REINFORCED CONCRETE PIPE), RD (ROOF DRAIN), S (SEWER), S/C/O (SEWER CLEANOUT), SD (STORM DRAIN), T (TELEPHONE), TSV&B (TAPPING SLEEVE, VALVE & BOX RISER), UF (UTILITY POLE), VF (VERIFY IN FIELD), VCP (VITRIFIED CLAY PIPE), W (WATER).

GENERAL CONSTRUCTION NOTES

*(ALL REFERENCES TO "CONTRACTOR" SHALL MEAN THE GENERAL CONTRACTOR OR HIS SUB-CONTRACTORS.)

- 1. ALL WORK & MATERIALS SHALL BE IN ACCORDANCE WITH MASSDOT, HIGHWAY DIVISION, STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES (MASSDOT-SSHB), AS CURRENTLY AMENDED, UNLESS OTHERWISE NOTED. IF THERE ARE CONFLICTS IN ANY OF THE SPECIFICATIONS OR PROJECT DOCUMENTS, THE HIGHER STANDARD SHALL APPLY.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL QUANTITY ESTIMATES AND VERIFYING, TO HIS OWN SATISFACTION, THAT ALL QUANTITIES ARE ACCURATE FOR ALL CONSTRUCTION MATERIALS, INCLUDING CUT & FILL ESTIMATES WHICH THE CONTRACTOR MAY PREPARE BASED ON INFORMATION CONTAINED WITHIN THESE PLANS.
3. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
4. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANIES FOR OBTAINING CONSTRUCTION PERMITS AND PERFORMING ALL NEW CONSTRUCTION, RELOCATION, ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC (INCLUDING UTILITY POLES), TELEPHONE, CABLE, FIRE ALARM, WATER, SANITARY SEWER, STORM DRAIN, AND ANY OTHER UTILITIES, BOTH PUBLIC AND PRIVATE, AS REQUIRED.
5. THE LOCATION OF EXISTING UNDERGROUND SYSTEMS, INFRASTRUCTURE, UTILITIES, CONDUITS, WELLS, AND LINES ARE SHOWN IN AN APPROXIMATE WAY ONLY, MAY NOT BE LIMITED TO THOSE SHOWN HEREIN, AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER, THE ENGINEER, OR THEIR REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION, BOTH HORIZONTALLY AND VERTICALLY, OF ALL EXISTING UTILITIES, CONDUITS, LINES, WELLS, AND OTHER BURIED INFRASTRUCTURE AND SYSTEMS BEFORE THE START OF ANY WORK. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE THE INFRASTRUCTURE, UTILITIES, CONDUITS AND LINES EXACTLY. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND INFRASTRUCTURE AND UTILITIES AS REQUIRED. THE CONTRACTOR MUST CALL "DIG SAFE" (AT 1-888-DIG-SAFE) AT LEAST 72 HOURS BEFORE THE START OF CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL AT LEAST 24 HOURS AHEAD FOR INSPECTIONS BY THE APPROPRIATE AUTHORITY IN ACCORDANCE WITH THE TOWN REQUIREMENTS, AS APPLICABLE.
7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN, (SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS) PRIOR TO COMMENCING ANY WORK.
8. BAXTER NYE ENGINEERING & SURVEYING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN.
9. THE TERM "PROPOSED" (PROP.) MEANS WORK TO BE CONSTRUCTED USING NEW MATERIALS OR, WHERE APPLICABLE, RE-USING EXISTING MATERIALS IDENTIFIED AS "REMOVE AND RESET" (R&R).
10. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH SAME, AND COORDINATE WITH THE ENGINEER AS REQUIRED.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING INFORMATION OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR MUST NOTIFY THE OWNER OR ENGINEER IMMEDIATELY UPON DISCOVERY AND AT LEAST 72 HOURS PRIOR TO INSTALLATION OF ANY PORTION OF THE AFFECTED WORK.
12. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS AND CONSTRUCTION. BUILDING DIMENSIONS SHOWN HEREIN ARE FOR COORDINATION WITH OTHER SITE WORK ONLY AND SHOULD NOT BE USED TO STAKE OUT BUILDINGS. SITE CONTRACTOR SHALL STAKE OUT THE EXTERIOR BUILDING CORNERS FROM THE LATEST ARCHITECTURAL PLANS. THE CONTRACTOR SHALL NOTIFY BAXTER NYE ENGINEERING & SURVEYING OF ANY DISCREPANCIES BETWEEN SITE PLAN DIMENSIONS AND ARCHITECTURAL BUILDING PLANS BEFORE PROCEEDING WITH ANY PORTION OF SITE WORK WHICH MAY BE EFFECTED SO THAT PROPER ADJUSTMENTS TO THE SITE LAYOUT CAN BE MADE IF NECESSARY.
13. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT A SCHEDULE OF OPERATIONS TO THE OWNER AND ITS REPRESENTATIVE. THE CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE OWNER, ITS ENGINEER OR REPRESENTATIVE.
14. THE CONTRACTOR SHALL CONTACT THE ENGINEER TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST TWO (2) WEEKS PRIOR TO COMMENCING CONSTRUCTION.
15. THE CONTRACTOR SHALL MAKE SUBMITTALS TO THE ENGINEER FOR APPROVAL BEFORE ANY FABRICATION OR DELIVERY OF PRODUCTS OR MATERIALS.
16. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS. BAXTER NYE ENGINEERING & SURVEYING, DOES NOT ASSUME ANY RESPONSIBILITY IN JOB SITE SAFETY FOR CONSTRUCTION METHODS USED, ALL FEDERAL, STATE, AND LOCAL OSHA REQUIREMENTS AND REGULATIONS SHALL BE FOLLOWED BY ALL PERSONNEL ON THE JOB SITE AT ALL TIMES.
17. THE CONTRACTOR SHALL REMOVE ALL STUMPS, RUBBISH, AND DEBRIS FROM THE PROJECT SITE. STORAGE OF THESE ITEMS WILL NOT BE PERMITTED ON THE PROJECT SITE. THE CONTRACTOR SHALL LEAVE THE SITE IN A SAFE, CLEAN, AND LEVEL CONDITION AT THE COMPLETION OF THE SITE CLEARANCE WORK.
18. ALL UNSUITABLE MATERIALS ENCOUNTERED WITHIN THE LIMIT OF WORK SUB GRADES SHALL BE REMOVED, AS DIRECTED BY THE ENGINEER OR OWNERS REPRESENTATIVE, TO NATURAL STABLE GROUND BY THE CONTRACTOR. UNSUITABLE MATERIALS INCLUDE TOPSOIL, LOAM, PEAT, ALL ORGANIC MATERIAL, SNOW, ICE, CONSTRUCTION RUBBLE, TRASH, AND OTHER DELETERIOUS DEBRIS.
19. TREES AND SHRUBS WITHIN THE LIMITS OF GRADING SHALL BE REMOVED AND RESET ONLY UPON APPROVAL OF THE ENGINEER OR OWNERS REPRESENTATIVE.
20. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE OWNER OR ITS REPRESENTATIVE, SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
21. EXISTING SUBSURFACE ROCK IS NOT SHOWN ON THE PLANS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE THEIR OWN DETERMINATION AS TO THE LOCATION OF SUBSURFACE ROCK.
22. THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER, AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY FACILITIES DAMAGED BY CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
23. ALL EXISTING SIGNS WITHIN THE PROJECT LIMITS SHALL BE RETAINED UNLESS NOTED OTHERWISE.
24. JOINTS BETWEEN NEW BITUMINOUS CONCRETE ROADWAY PAVEMENT AND SAWCUT EXISTING PAVEMENT SHALL BE SEALED WITH BITUMEN AND BACKSAND. ALL JOINTS TO EXISTING PAVEMENT SHALL BE SAWCUT TRUE AND STRAIGHT. ALL CRACKED OR INADEQUATE PAVEMENT AND/OR SUBBASE MATERIAL SHALL BE REMOVED AND REPLACED.

- 25. ALL PROPOSED WALKWAYS WILL BE HANDICAPPED ACCESSIBLE. ALL PROPOSED SLOPES ON WALKWAYS SHALL BE LESS THAN 5% AND ALL CROSS SLOPES <2%. THESE ARE MAXIMUM SLOPES WITH NO TOLERANCE. ALL WORK WILL BE IN ACCORDANCE WITH THE MOST CURRENT REQUIREMENTS OF THE U.S. ACCESS BOARD, AMERICANS WITH DISABILITIES ACT & COMMONWEALTH OF MASSACHUSETTS, ARCHITECTURAL ACCESS BOARD.
26. FINAL LAYOUT AND STAKING OF ALL PROPOSED FEATURES AND GRADING SHALL BE REVIEWED IN THE FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO ANY SITE PREPARATION OR CONSTRUCTION. THE CONTRACTOR SHALL NOT ADJUST OR MODIFY THE LAYOUT AND STAKING OF ANY PROPOSED FEATURES WITHOUT FINAL APPROVAL FROM THE OWNERS REPRESENTATIVE AND ANY GOVERNMENTAL AGENCY WHICH MAY HAVE JURISDICTION OVER CONTEMPLEATED CHANGE.
27. ALL ELECTRICAL (BOTH PRIMARY AND SECONDARY), TELEPHONE, DATA/COM AND FIRE DEPARTMENT CONDUITS AND APPURTENANT FEATURES REQUIRED BY THE APPLICABLE UTILITY COMPANY ARE TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR. TRENCHING, BACKFILLING, CONCRETE CURB, MANHOLE AND RELATED STRUCTURES AND STREET REPAIR SHALL BE PERFORMED BY THE GENERAL CONTRACTOR/SITE CONTRACTOR. ALL ASSOCIATED COSTS FOR COMPLETE EXECUTION OF THIS WORK SHALL BE INCLUDED IN THE CONTRACTORS PRICING.
28. RIM ELEVATIONS OF DRAINAGE AND SANITARY SEWER MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING PLANS. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, GAS GATES, WATER GATES AND OTHER UTILITIES TO FINISHED GRADE WITHIN THE LIMITS OF THE SITE WORK.
29. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND. SURFACES NOT OTHERWISE STABILIZED SHALL BE STABILIZED AS LAWN. ALL LAWN AREAS SHALL HAVE A MODIFIED LOAM BORROW PLACED, SEEDED, FERTILIZED, LIMED AND MULCHED UNTIL GRASS STAND IS ESTABLISHED AND SURFACE IS STABILIZED. THE MODIFIED LOAM BORROW SHALL HAVE A MINIMUM DEPTH OF 6" AND SHALL BE PLACED FLUSH WITH THE TOP OF ADJACENT CURB, EDGING, BERM, OR OTHER SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AREAS UNTIL VEGETATION HAS BEEN PERMANENTLY ESTABLISHED. SLOPES IN EXCESS OF 3:1 SHALL BE FURTHER STABILIZED WITH EROSION CONTROL BLANKETS (ECB) OF CURLEX OR EQVAL.
30. THE CONTRACTOR SHALL WATER, MOW, FERTILIZE OR OTHERWISE MAINTAIN ALL SODDED AND SEEDED OR OTHERWISE STABILIZED AREAS UNTIL GRASS STANDS OR OTHER VEGETATED METHODS ARE ESTABLISHED TO THE SATISFACTION OF THE OWNER OR THEIR REPRESENTATIVE.
31. THE CONTRACTOR SHALL RESET ALL MONUMENTATION DISTURBED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL PROVIDE A SURVEY BY A PLS TO ENSURE THAT THE MONUMENTATION IS RESET TO ITS ORIGINAL LOCATION. MONUMENTS INCLUDE, BUT ARE NOT LIMITED TO, TOWN BOUNDS, MASS HIGHWAY BOUNDS, PROPERTY LINE MONUMENTS, IRON RODS, STAKES, CONCRETE BOUNDS, GRANITE BOUNDS AND STONE WALLS WITH DRILL HOLES.
32. ALL WORK WITHIN THESE PLANS SHALL BE PERFORMED AND PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONSTRUCTION DETAILS PROVIDED IN THIS PLAN SET WHETHER OR NOT THE DETAIL NUMBER IS SPECIFICALLY REFERENCED.
EXCAVATION SAFETY:
ALL EXCAVATION MUST FOLLOW OSHA, MASSACHUSETTS AND LOCAL REGULATIONS FOR SAFETY. ALL TRENCH EXCAVATION EXCEEDING 3 FEET OF DEPTH WILL REQUIRE A TRENCH PERMIT FROM THE LOCAL TOWN OR CITY PRIOR TO ANY EXCAVATION.
DRAWINGS STATEMENT:
THE CONTRACTOR WILL PREPARE AS-BUILT DRAWINGS, STAMPED BY A MA LICENSED PROFESSIONAL ENGINEER (PE) CERTIFYING THAT: "TO THE BEST OF THEIR KNOWLEDGE, JUDGEMENT AND BELIEF, THE CONSTRUCTED WORK IS IN GENERAL CONFORMANCE WITH THE PLANS."
INSPECTIONS/TESTING:
1. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE ENGINEER ON ALL NECESSARY INSPECTIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST TWO (2) BUSINESS DAYS AHEAD OF REQUIRED INSPECTIONS.
2. AT A MINIMUM, THE FOLLOWING INSPECTIONS/TESTING WILL BE REQUIRED. IF ISSUES ARISE DURING CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS ADDITIONAL INSPECTIONS BEYOND WHAT IS NOTED MAY BE NEEDED.
A. INSTALLATION OF SEDIMENT AND EROSION CONTROLS AT LIMIT OF WORK PRIOR TO COMMENCING CONSTRUCTION.
B. DRAINAGE AND STORMWATER MANAGEMENT:
- BOTTOM OF EXCAVATION FOR EACH STORMWATER MANAGEMENT (SWM) FACILITY.
- DURING INSTALLATION OF STRUCTURES/CHAMBERS TO SEE CROSS SECTION VIEW OF INSTALLATION
- AT COMPLETION OF INSTALLATION OF EACH SWM FACILITY PRIOR TO BACKFILL
- AT FINAL SHAPING OF STONE WEIRS, OUTFALLS AND EARTH BERMS
- DURING INSTALLATION OF THE BIO-RETENTION SECTION FOR THE SWALE AND BASIN.
C. GRAVEL BORROW SUBBASE UNDER ALL PAVED AND CONCRETE SURFACES (UNLESS OTHERWISE WITNESSED BY A TESTING AGENCY.)
D. BN WILL NEED TO WITNESS REPRESENTATIVE INSTALLATION OF VERTICAL AND SLOPED CURBING.
E. BN SHALL BE PROVIDED FOR REVIEW ALL TESTING AGENCY LABORATORY MATERIAL AND ON-SITE TESTING RESULTS AS REQUIRED UNDER THE PROJECT DOCUMENTS FOR COMPLETE REQUIREMENTS, INCLUDING BUT NOT LIMITED TO:
- ALL COMPACTION TESTING RESULTS FOR BACKFILL.
- GRAVEL BORROW MATERIAL UNDER PAVING, SIDEWALK, SITE SLABS, PADS, ETC. AS TO DEPTH
- WATER MATERIAL PLACEMENT AND COMPACTION TESTING RESULTS.
- BITUMINOUS CONCRETE PLACEMENT AND COMPACTION TESTING RESULTS.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING MATERIAL SAMPLES TO AND COORDINATING WITH THE TESTING AGENCY AS REQUIRED.
F. BN WILL NEED TO WITNESS A REPRESENTATIVE UTILITY INSTALLATION BEFORE BACKFILL FOR:
- WATER
- CONTRACTOR SHALL CONTACT BN TO ALLOW BN TO TAKE AS-BUILT SHOTS ON PIPE BENDS, AS PIPE STOP FOR AS-BUILT REQUIREMENTS
- THE WATER SYSTEM SHALL BE INSPECTED BY A THIRD PARTY APPROVED WATER INSPECTOR PAID FOR BY THE CONTRACTOR. ACCEPTANCE REPORTS AND AS-BUILT TIE CARDS FOR THE WATER SYSTEM (INCLUDING TIES TO ALL BENDS, TEES, ETC.) SHALL BE PREPARED BY THE 3RD PARTY INSPECTOR AND PROVIDED TO THE ENGINEER FOR RECORD.
- SEWER
- INSTALLATION OF PIPE AND PIPE BEDDING, TANKS, WET WELLS, SMH PRIOR TO BACKFILLING.
- CONTRACTOR SHALL PROVIDE ALL REQUIRED TESTING FOR ACCEPTANCE OF THE SEWER SYSTEM. UNACCEPTABLE TEST/INSPECTION RESULTS WILL RESULT IN THE CONTRACTOR REPAIRING THE CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER.
- CONTRACTOR TO PROVIDE BN WITH SEWER DEPT. APPROVED INSPECTION REPORT AND ACCEPTANCE LETTER.
G. SANITARY SEWER TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:
1. ALL SEWERS AND APPURTENANT WORK, IN ORDER TO BE ELIGIBLE FOR ACCEPTANCE BY THE ENGINEER, SHALL BE SUBJECTED TO TESTS THAT WILL DETERMINE THE DEGREE OF WATER TIGHTNESS AND HORIZONTAL AND VERTICAL ALIGNMENT.
2. THOROUGHLY CLEAN AND/OR FLUSH ALL SEWER LINES TO BE TESTED, IN A MANNER AND TO THE EXTENT ACCEPTABLE TO THE ENGINEER, PRIOR TO INITIATING TEST PROCEDURES.
3. TESTING GRAVITY SEWER PIPING:
a. LOW-PRESSURE AIR TEST.
b. INFILTRATION TEST.
4. HYDROSTATIC TESTING PRESSURE PIPING.
5. DEFLECTION TESTING PLASTIC PIPING.
a. DEFLECTION TESTING PER ACCEPTED STANDARDS (RIGID BALL, "GO-NO GO MANDREL").
b. WATER TIGHT DEFLECTION IS 5% OF ORIGINAL PIPE DIAMETER. PIPES HOLDING WATER MAY RESULT IN FAILING INSPECTION.
6. CAMERA VIDEO INSPECTION.
7. SEALING AND TESTING PRECAST SANITARY SEWER MANHOLES, FRAMES AND COVERS
8. WATER TIGHT TESTS PRIOR TO BACKFILLING OF WET WELL AND TANKS PER ACCEPTABLE STANDARD.
ALL TESTING SHALL BE PERFORMED PRIOR TO ACCEPTANCE OF THE SEWER SYSTEM.
H. THE CONTRACTOR SHALL NOTIFY AND COORDINATE A SITE MEETING WITH THE ENGINEER PRIOR TO PLACING FINAL PAVING COURSE. LAYOUT AND FINAL REQUIRED DIMENSIONS ARE TO BE REVIEWED AT THIS MEETING PRIOR TO PAVING OPERATION. REQUIREMENTS SHALL BE PER MASSDOT STANDARD SPECIFICATIONS.
I. FINAL STABILIZATION AND PLANTINGS PRIOR TO REMOVING ANY SEDIMENT AND EROSION CONTROL DEVICES.

BAXTER NYE ENGINEERING & SURVEYING

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Registered Professional Engineers and Land Surveyors

78 North Street - 3rd Floor Hyannis, Massachusetts 02601

Phone - (508) 771-7502 Fax - (508) 771-7622 www.baxter-nye.com

Table with 2 columns: STAMP

CONSULTANT

CONSULTANT

PREPARED FOR: DPF Mashpee, LLC c/o Charter Realty & Development Corp. 1666 Massachusetts Avenue, Suite 6A Lexington, MA 02420

PROJECT TITLE Proposed Building G at South Cape Village Shopping Center 11 Commercial Street Mashpee, MA 02649

Table with 2 columns: DATE, DESCRIPTION

SHEET TITLE

Legend and General Notes Plan

SHEET NO C1.0

DATE: JULY 10, 2021



SCALE: 1"=20'

DRAWN BY: JKL CHECKED BY: MWE JOB NO.: 2015-049 FILE: 2015-049 SW LG.dwg

FOR PERMIT ONLY - NOT FOR CONSTRUCTION

0 - 2015-2015-049-CTMILL/PLCOT/Sherwin Williams 2015-049 SW LG.dwg, 7/16/2021 9:08:30 AM, DWG TO PDF.pc3, ARCT full bleed D 24.00 x 36.00 inches, 1:1

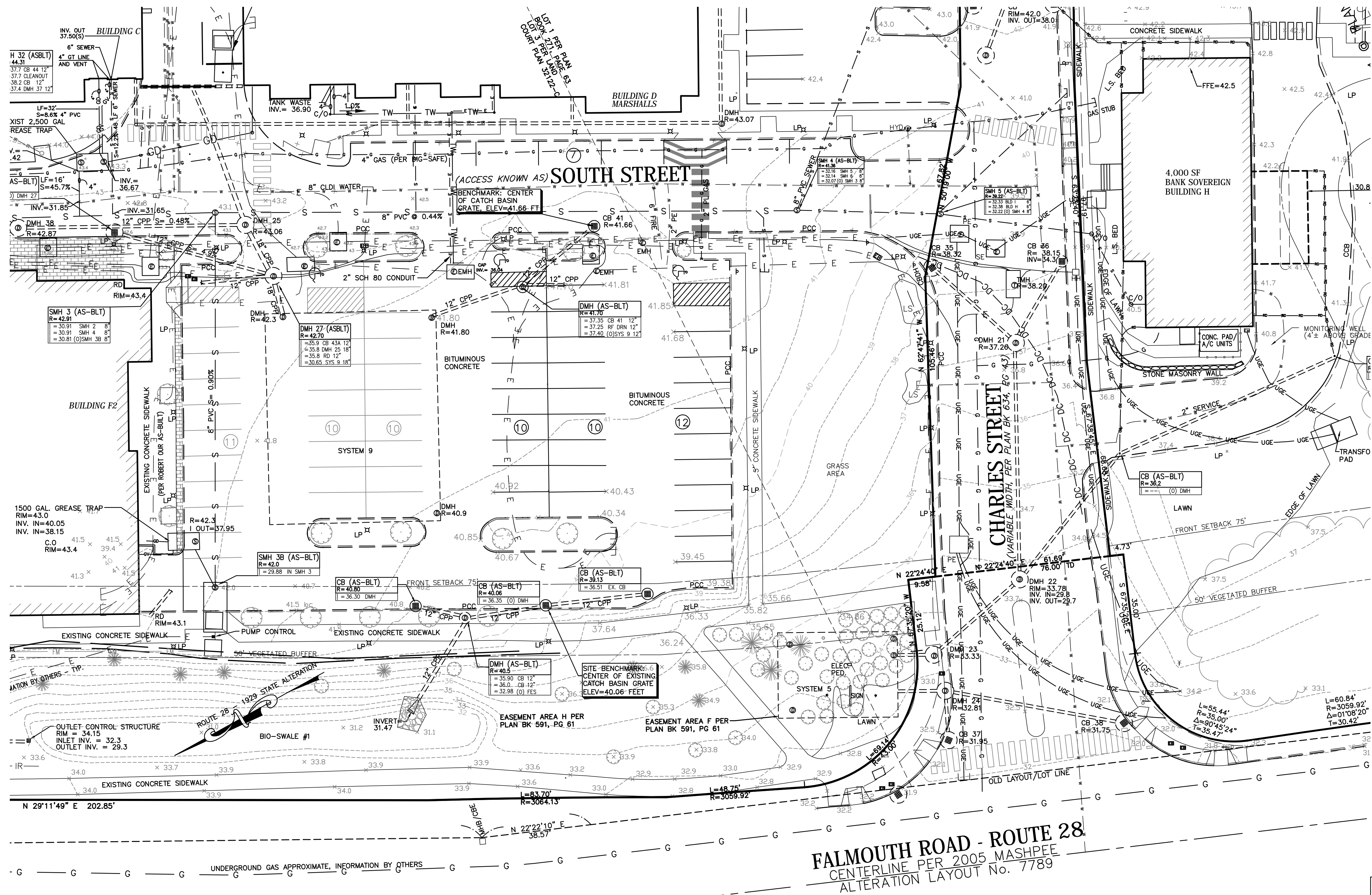
GENERAL NOTES:

- THIS PLAN IS AN ADDENDUM TO PLAN SET ENTITLED: "SOUTH CAPE VILLAGE CONSTRUCTION PLAN SET" PREPARED FOR C. TALANIAN REALTY CO., 176 NEWBURY STREET BOSTON, MA 02116, DATED SEPTEMBER 15, 2004, PREPARED BY COLER & COLANTONIO, INC. & SHOULD BE READ IN CONJUNCTION WITH SHEETS INCLUDED THEREIN.
 - THE INTENT OF THIS PLAN IS TO DETAIL EXISTING SITE CONDITIONS WITHIN THE PROPOSED PROJECT LOCUS "BUILDING G" AS OF THE NOTED DATES OF SURVEY.
 - PER CURRENT ASSESSOR'S RECORDS: ASSESSOR'S PARCELS: 0081-004, 0081-0016, 0081-0025
TOTAL PARCELS AREA = 13.3± ACRES.
- OWNER: DPF MASHPEE, LLC
C/O BLACK CREEK GROUP
518 17TH STREET, 17TH FLOOR
DENVER, CO 80202
- CERTIFICATE OF TITLE: #205910
- RECORD PLAN: LAND COURT PLAN 32122-C LOT 3
PLAN BOOK 271 PAGE 63
PLAN BOOK 634 PAGES 43 & 44
MASS HIGHWAY ALTERATIONS 7789, 7745, AND 2557
- PROJECT BENCHMARK: AS SHOWN ON THIS PLAN
 - ZONING DISTRICT: C-1
CURRENT MINIMUM ZONING REQUIREMENTS:
MIN. LOT AREA = 40,000 SF
MIN. LOT FRONTAGE = 200'
FRONT YARD = 40' (75' TO ROUTE 28)
SIDE & REAR YARD = 40' / 20'
- SUBJECT TO REQUIREMENTS OF SOUTH CAPE VILLAGE SPECIAL PERMIT FROM MASHPEE PLANNING BOARD RECORDED IN BOOK 16641 PAGE 122, WITH LAST MODIFICATION OF SPECIAL PERMIT RECORDED IN BOOK 30563, PAGE 222.
- A TITLE SEARCH HAS NOT BEEN PERFORMED FOR THIS SITE. THERE MAY BE RIGHTS BY OTHERS, EASEMENT, TAKINGS, MORTGAGES, RIGHT OF WAYS ETC. NOT DEPICTED. IF DETERMINED TO BE NECESSARY, A TITLE SEARCH SHALL BE PERFORMED BY OTHERS AND SURVEYING.
 - THE PROPERTY LINE INFORMATION SHOWN IS BASED ON CURRENT AVAILABLE RECORD INFORMATION CONSISTING OF PLANS AND DEEDS. THE EXISTING FEATURES WITHIN THE "BUILDING G" PROJECT LIMITS SHOWN HEREON WERE OBTAINED FROM ONGOING UPDATES OF ON THE GROUND FIELD SURVEY PERFORMED BY BAXTER NYE ENGINEERING & SURVEYING BETWEEN JULY 2006 AND THE LATEST SURVEY FOR THIS PROJECT PHASE ON MARCH 4, 2021.
 - BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN FLOOD ZONE X (UNSHADED) ON THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) COMMUNITY PANEL NUMBER 250009 0751 J, EFFECTIVE DATE JULY 16, 2014.

9. ENVIRONMENTAL INFORMATION:

PER MASS GIS OLIVER AS OF 03/24/2021:

- SITE DOES NOT APPEAR TO BE WITHIN AN A.C.E.C. (AREA OF CRITICAL ENVIRONMENTAL CONCERN).
 - SITE DOES NOT APPEAR TO BE WITHIN AN AREA OF ESTIMATED HABITAT OF RARE WILDLIFE AS MAPPED ON MASS GIS OLIVER PER NHESP "ESTIMATED HABITATS OF RARE WILDLIFE" FOR USE WITH THE MA WETLANDS PROTECTION ACT REGULATIONS (310 CMR 10).
 - SITE DOES NOT APPEAR TO CONTAIN A CERTIFIED VERNAL POOL AS MAPPED ON MASS GIS OLIVER PER NHESP "CERTIFIED VERNAL POOLS."
 - SITE DOES NOT APPEAR TO BE WITHIN A PRIORITY HABITAT AS MAPPED ON MASS GIS OLIVER PER NHESP "PRIORITY HABITATS OF RARE SPECIES" FOR SPECIES UNDER THE MASSACHUSETTS ENDANGERED SPECIES ACT, REGULATIONS (321 CMR 10).
 - SITE DOES NOT APPEAR TO BE WITHIN A STATE APPROVED ZONE II GROUNDWATER RECHARGE PROTECTION AREA.
- 10. UTILITY INFORMATION SHOWN HEREIN:**
- THE CONTRACTOR SHALL CONTACT DIG SAFE (AT 1-888-DIG-SAFE) AND UTILITY COMPANIES TO LOCATE THE LOCATION OF ALL EXISTING UTILITIES, AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. EXISTING UNDERGROUND INFRASTRUCTURE, UTILITIES, CONDUITS AND LINES ARE SHOWN IN AN APPROXIMATE WAY ONLY, MAY NOT BE LIMITED TO THOSE SHOWN HEREIN AND HAVE BEEN RESEARCHED BASED ON THE AVAILABLE UTILITY RECORDS NOTED HEREON. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE SAID INFRASTRUCTURE AND UTILITIES EXACTLY. IF FIELD CONDITIONS DIFFERS FROM PLAN INFORMATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
 - SOURCE INFORMATION FROM PLANS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
 - EXISTING WASTEWATER SYSTEM INFORMATION OBTAINED FROM FIELD LOCATION BY BAXTER NYE ENGINEERING AND SURVEYING AND COMPILED FROM SEPTIC SYSTEM AS-BUILT PLAN BY ALPHA LAND SURVEYING & ENGINEERING ASSOCIATES, DATED 7-6-04.
 - WATER LINES SHOWN ON THIS PLAN FROM AS-BUILT RECORD PLANS AND FIELD LOCATION BY BAXTER NYE ENGINEERING AND SURVEYING.
 - GAS SERVICE LINES SHOWN ON PLAN WERE COMPILED FROM NATIONAL GRID RECORD PLANS AND FIELD LOCATION BY BAXTER NYE ENGINEERING AND SURVEYING.
 - ELECTRIC LINES SHOWN ON THIS PLAN WERE COMPILED FROM EVERSOURCE AND NSTAR RECORD PLANS AND FIELD LOCATION BY BAXTER NYE ENGINEERING AND SURVEYING.
 - COMPILED UTILITY INFORMATION ALSO TAKEN FROM PLAN ENTITLED "SOUTH CAPE VILLAGE CONSTRUCTION PLAN SET" PREPARED FOR C. TALANIAN REALTY CO., 176 NEWBURY STREET BOSTON, MA 02116, DATED SEPTEMBER 15, 2004, PREPARED BY COLER & COLANTONIO, INC.



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CONSULTANT

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PREPARED FOR:

DPF Mashpee, LLC
c/o Charter Realty &
Development Corp.
1666 Massachusetts Avenue,
Suite 6A
Lexington, MA 02420

PROJECT TITLE

**Proposed Building G at
South Cape Village
Shopping Center
11 Commercial Street
Mashpee, MA 02649**

DATE DESCRIPTION

SHEET TITLE
**Partial Existing
Conditions Plan**

SHEET NO
C2.0

DATE: JULY 10, 2021
SCALE IN FEET
SCALE: 1"=20'

DRAWN BY: JKL CHECKED BY: MWE
JOB NO.: 2015-049 FILE: 2015-049 SW EC.dwg

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1666 Massachusetts Avenue,
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Lexington, MA 02420

PROJECT TITLE

**Proposed Building G at
South Cape Village
Shopping Center
11 Commercial Street
Mashpee, MA 02649**

DATE DESCRIPTION

SHEET TITLE

Site Layout Plan

SHEET NO

C3.0

DATE: JULY 10, 2021

20 0 20 40

SCALE IN FEET

SCALE: 1"=20'

DRAWN BY: JKL CHECKED BY: MWE


JOB NO.: 2015-049 FILE: 2015-049 SW DM.dwg

ZONING TABLE

ZONING: C-1 (COMMERCIAL)		
ALLOWED USE: BY SPECIAL PERMIT-COMMERCIAL CENTER PROPOSED USE: RETAIL		
(ZONING ORDINANCE SECTION: 174-31 & 174-45.1)		
	REQUIRED/ALLOWED	PROVIDED/PROPOSED
LOT SIZE	40,000 SF	392,054 SF (9.00 AC)
LOT WIDTH	200 FT	
FRONT SETBACK (FALMOUTH ROAD)	75 FT (FROM OLD LAYOUT)	80.8 FT
FRONT SETBACK (DONNA'S LANE)	40 FT (FROM OLD LAYOUT)	
SIDE SETBACK	20 FT	N/A
REAR SETBACK	40 FT	N/A
BUILDING HEIGHT	35 FT, 2 STORIES	24.3 FT, 1 STORY
PARKING TABLE		
RETAIL STORE - 4,860 SF / 300 SF=16.2	16 SPACES	PER SPECIAL PERMIT
HANDICAP PARKING (TOTAL/VAN)	1 SPACE	1/1 SPACES
DESIGN VEHICLE		WB-67

NOTES:

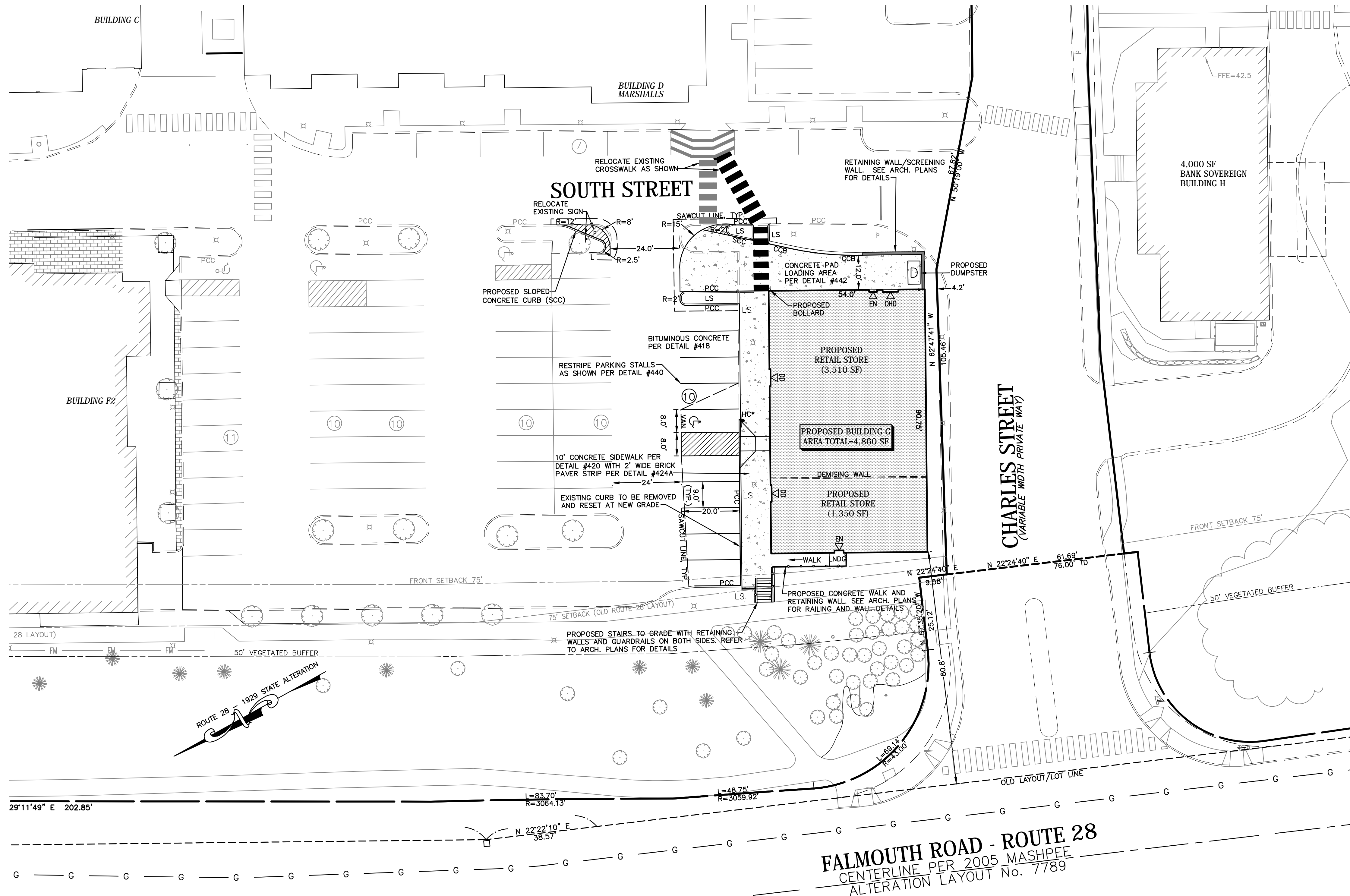
1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH MHDSS, TOWN ORDINANCES, REQUIREMENTS, AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL CONTACT THE ENGINEER TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST TWO (2) WEEKS PRIOR TO COMMENCING CONSTRUCTION.
3. THE CONTRACTOR SHALL MAKE SUBMITTALS TO THE ENGINEER FOR APPROVAL BEFORE ANY FABRICATION OR DELIVERY OF PRODUCTS OR MATERIALS.
4. ALL PROPOSED WALKWAYS WILL BE HANDICAPPED ACCESSIBLE. ALL PROPOSED RUNNING SLOPES ON WALKWAYS SHALL BE LESS THAN 5% AND ALL CROSS SLOPES < 2%. THESE ARE MAXIMUM SLOPES WITH NO TOLERANCE. ALL WORK WILL BE IN ACCORDANCE WITH THE MOST CURRENT REQUIREMENTS OF THE U.S. ACCESS BOARD, AMERICANS WITH DISABILITIES ACT & COMMONWEALTH OF MASSACHUSETTS, ARCHITECTURAL ACCESS BOARD.
5. EXISTING PAVING EDGES SHALL BE SAWCUT TO CREATE A CLEAN EDGE WHERE IT IS TO BE TIED INTO NEW PAVING, OR WHERE ASPHALT IS REMOVED ADJACENT TO ASPHALT WHICH IS TO REMAIN. BROKEN OR UNSTABLE PAVEMENT SHALL BE REMOVED AND SUBBASE REPLACED WITH SUITABLE COMPACTED MATERIAL PER PAVEMENT SECTION DETAIL HEREIN. ANY SAWCUT LINES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE EXACT EDGE OF SAWCUT SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD TO PROPERLY BLEND TO THE SURROUNDING GRADES. PROPOSED ASPHALT SHALL BE PROPERLY BUTTED AND BLENDED TO SURROUNDING ASPHALT WHICH IS TO REMAIN. THE BLENDED TRANSITION BETWEEN PROPOSED AND EXISTING ASPHALT SHALL BE WITH AN APPROXIMATE 1.5% GRADE UNLESS OTHERWISE IDENTIFIED. THE JOINT SHALL NOT BE ABRUPT.
6. DIMENSIONS SHOWN ARE TO OUTSIDE FACE OF FOUNDATION OR TO THE FACE OF CURB/BERM WHERE APPLICABLE.
7. THE CONTRACTOR SHALL NOTIFY AND COORDINATE A SITE MEETING WITH THE ENGINEER PRIOR TO PLACING FINAL PAVING COURSE. LAYOUT AND FINAL REQUIRED DIMENSIONS ARE TO BE REVIEWED AT THIS MEETING PRIOR TO PAVING OPERATION. REQUIREMENTS SHALL BE PER MASSDOT STANDARD SPECIFICATIONS.
8. ALL CURBING SHALL BE INSTALLED SO THAT WHEN A TERMINAL END OF A CURB EXISTS IT SHALL HAVE A TAPERED END PER MDOT SPECIFICATIONS SO THAT THERE IS NOT A BLUNT SQUARE END PROJECTING.
9. ALL PAVEMENT MARKINGS AND STRIPING SHALL FOLLOW MUTCD STANDARDS. TYPICAL LINE WIDTH FOR LANE AND PARKING STALL STRIPING SHALL BE 4 INCHES UNLESS OTHERWISE NOTED. PARKING STALL COLOR SHALL BE WHITE, TYPICAL, UNLESS OTHERWISE NOTED.
10. BUILDING AND SITE SIGNAGE SHALL MEET REQUIREMENTS OF TOWN ZONING AND/OR SIGN ORDINANCES.
11. SITE LIGHTING - SEE ELECTRICAL DRAWINGS IN ARCHITECTURAL PLAN PACKAGE FOR DETAILED INFORMATION.
12. ALL WORK WITHIN THESE PLANS SHALL BE PERFORMED AND PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONSTRUCTION DETAILS PROVIDED IN THIS PLAN SET WHETHER OR NOT THE DETAIL NUMBER IS SPECIFICALLY REFERENCED.

SIGN SUMMARY				
M.U.T.C.D. NUMBER	SPECIFICATION		TEXT	QUANTITY
	WIDTH	HEIGHT		
HC*	18"	24"	 SEE LOCAL REQUIREMENTS (VAN)	1 (1)

ALL SIGNAGE MUST BE IN CONFORMANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), LATEST EDITION, ALL APPLICABLE CODES, AND LOCAL REQUIREMENTS, ORDINANCES, AND BYLAWS. SEE SIGN INSTALLATION DETAIL HEREIN.

SIGN INSTALLER SHALL COORDINATE SPECIFIC SIGN WORDING AND COLOR REQUIREMENTS WITH LOCAL AGENCIES AS NECESSARY (NOTE TO CONTRACTOR TO VERIFY HANDICAP PARKING SIGN FORMAT - SEE DETAIL HEREIN)

* ADD "VAN ACCESSIBLE" SIGN WHERE ASTERISKED



FOR PERMIT ONLY - NOT FOR CONSTRUCTION

C:\2015\2015-049\CTM\LOT\Sherwin Williams\2015-049 SW DM.dwg, 7/10/2021 5:22:23 PM, DWG to PDF, ARCH full bleed D (24.00 x 36.00 inches), 1:1

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Plant Legend

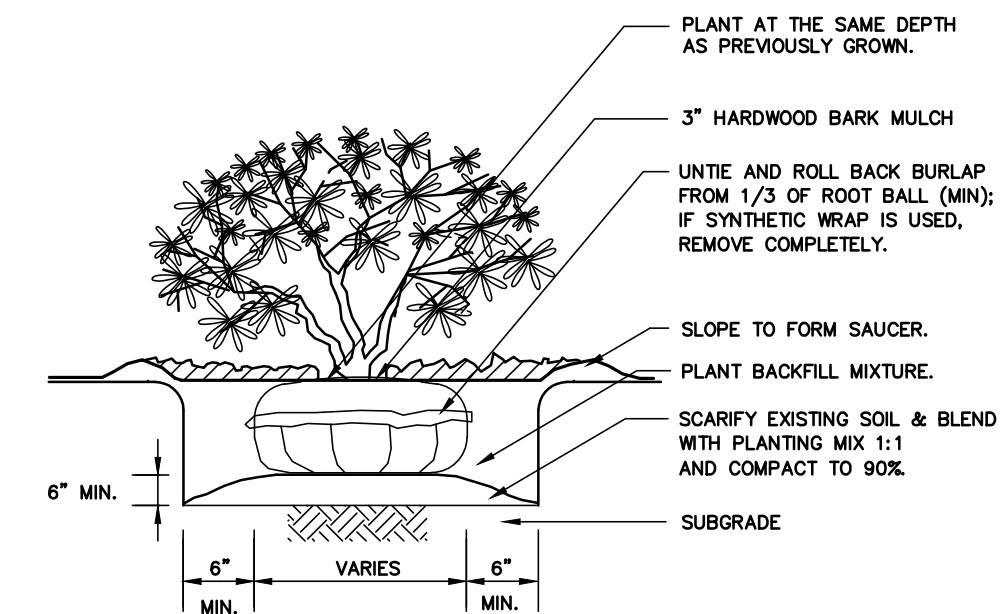
(PLANTS NOTED MAY BE SUBSTITUTED WITH EQUIVALENT VEGETATION, AS APPROVED BY THE BUILDING DEPARTMENT)

KEY	DESCRIPTION	BOTANICAL	QTY.	SIZE AT PLANTING
TREES	BRADFORD PEAR	PYRUS CALLERYANAN	4	3"
SHRUBS	LIMELIGHT PANICLE HYDRANGEA	HYDRANGEA PANICULATA LIMELIGHT	11	#10
	BLUSHING KNOCK OUT ROSE	ROSA BLUSHING KNOCK OUT	3	#3
	EMERALD GREEN ARBORVITAE	THUJA OCCIDENTALLS SMARAGD	13	6/7"
	NORTHERN BAYBERRY	MYRICA PENNSYLVANICA	3	3 GALLON
GRASSES	MORNING LIGHT MAIDEN GRASS	MISCANTHUS SINENSIS	16	#3
	WISTERIA VINE	WISTERIA FRUTESCENS	8	2 GALLON

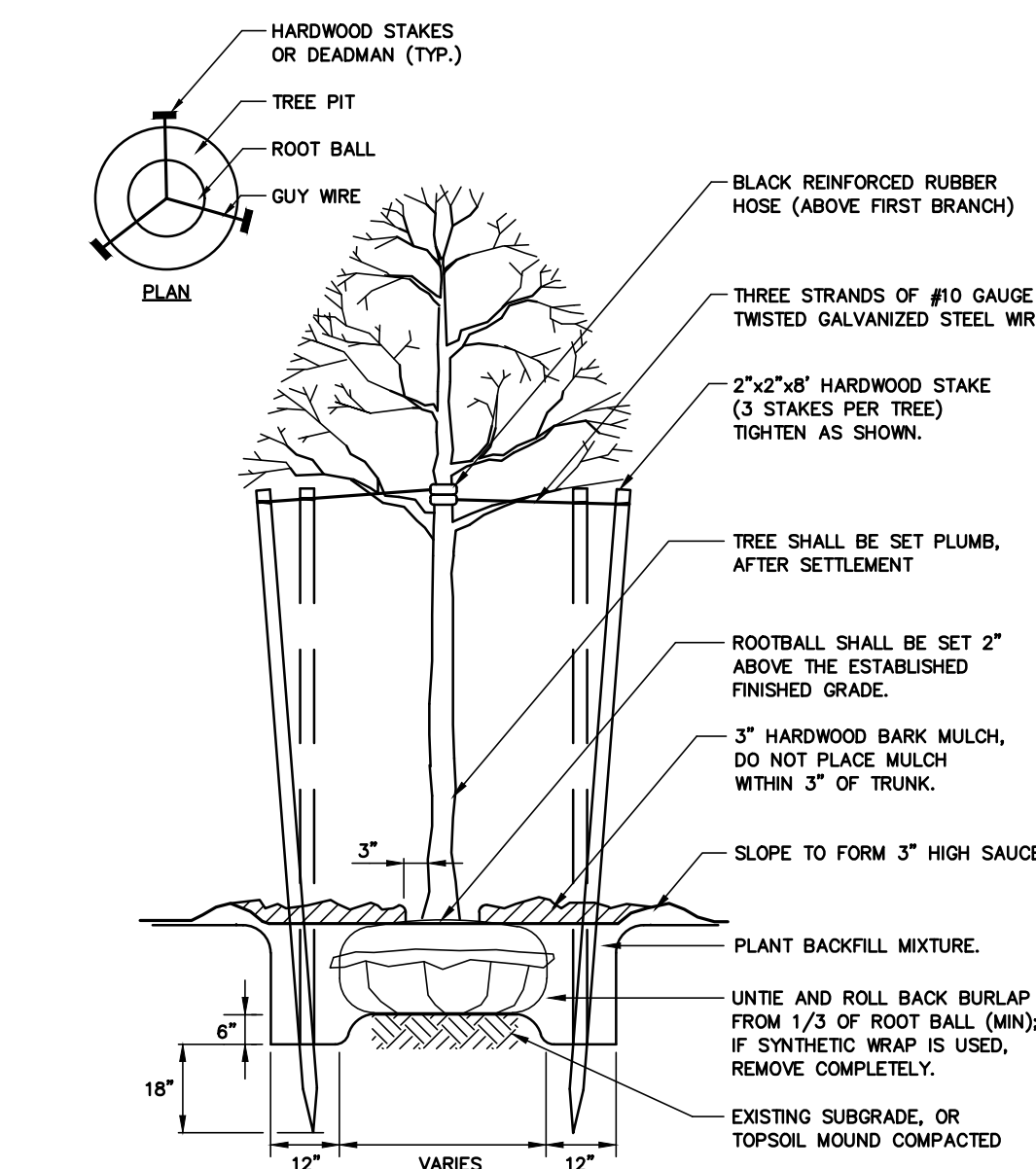
NOTES :

1. PLANT SOIL SHALL BE 1/3 SPHAGNUM PEAT MOSS AND 2/3 FERTILE FIELD LOAM BY VOLUME.
 2. MULCH SHALL BE HORTICULTURAL QUALITY HEMLOCK BARK. WHERE MULCH BEDS ARE AROUND A BUILDING THE MULCH SHALL BE HELD 20" OFF THE BUILDING AND 3/8" LANDSCAPE PEASTONE SHALL BE PLACED WITHIN THIS 20" AS A DROP EDGE AROUND THE BUILDING PERIMETER. PEASTONE COLOR TO BE SELECTED BY OWNER/ARCHITECT.
 3. PLANTS SHALL CONFORM TO MOST RECENT STANDARDS OF THE AMERICAN NURSERYMENS ASSOCIATION.
 4. PROVIDE 6" TOPSOIL & FINE GRADE & SEED ALL AREAS NOT OTHERWISE NOTED.
 5. ALL PLANTINGS AT DRIVE WAY ENTRANCES WILL BE MAINTAINED TO A HEIGHT OF 3" OR LESS AS TO NOT OBSCURE TRAFFIC VISIBILITY.
- IRRIGATION NOTES:**
1. CONTRACTOR TO INSTALL ON-SITE IRRIGATION WELL PER TOWN IRRIGATION REQUIREMENTS.
 2. CONTRACTOR TO BE RESPONSIBLE FOR PROPER COVERAGE OF AREAS TO BE WATERED I.E. ADJUST HEADS WITH INSUFFICIENT COVERAGE DUE TO BLOCKAGE BY EXISTING OR PROPOSED SITE FEATURES.
 3. CONTRACTOR TO REFER TO LANDSCAPE PLAN TO KEEP SPRINKLER EQUIPMENT AND ACCESSORY MATERIAL FROM INTERFERING WITH PROPER PLANTING, I.E. VERIFY ROOT BALL SIZE FOR PLANTING.
 4. RAINBIRD CONTROL VALVES, COUPLINGS, SPRINKLER HEADS SERIES 1812 AND 1804 SHALL BE USED. USE TORO SUPER 700 LAWN ROTOR WHERE REQUIRED.
 5. MAINLINE AND LATERAL LINE PIPE SHALL BE CLASS 200 PVC IRRIGATION SLEEVE SHALL BE SCHEDULE 40 PVC.
 6. INCLUDE BACKFLOW PREVENTER ASSEMBLY AND SPRINKLER CHECK VALVE DEVICES WHERE LOW HEAD DRAINAGE MAY OCCUR.

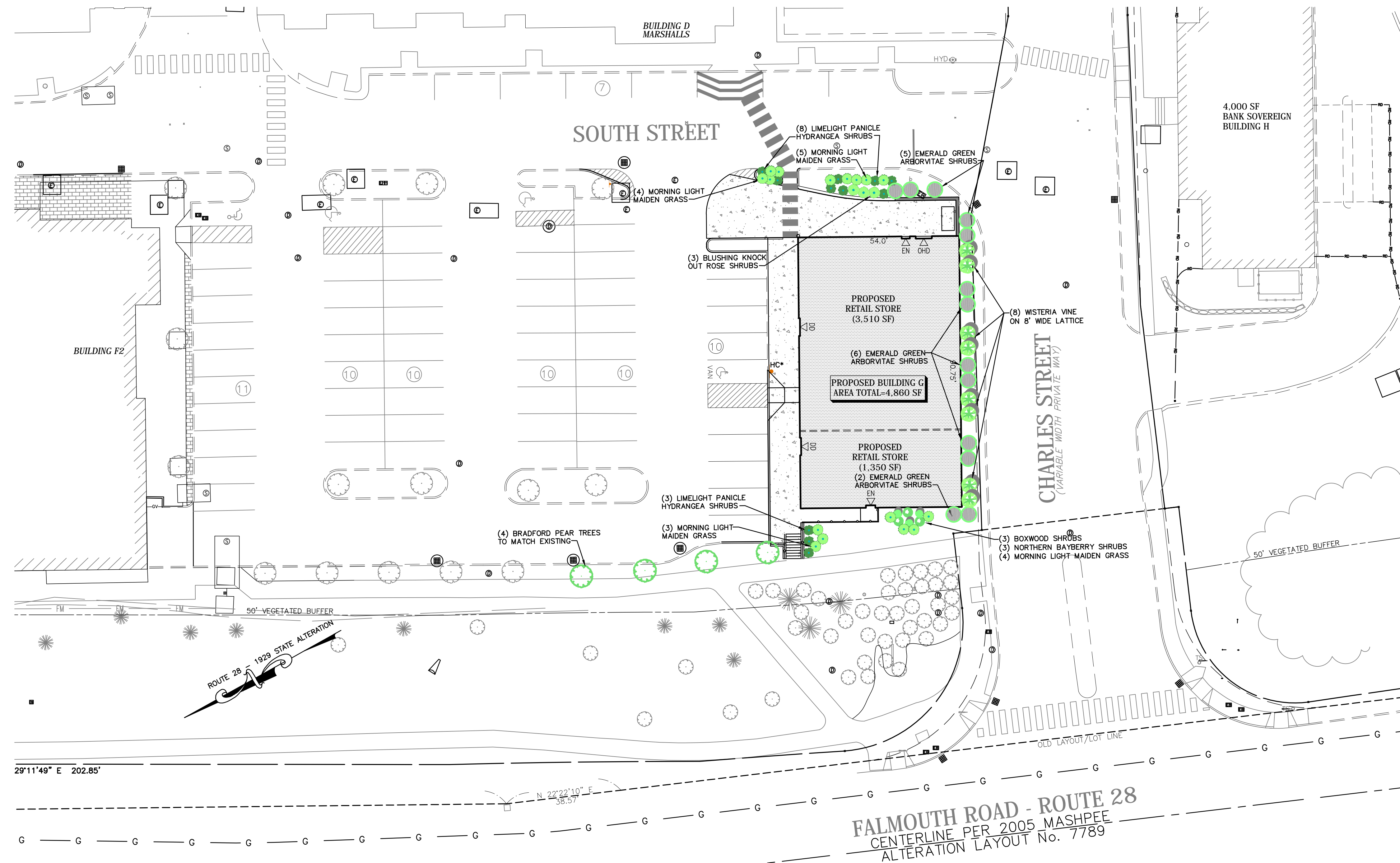
CAUTION: LANDSCAPER SHALL IDENTIFY ALL UTILITIES AND BUILDING CONNECTIONS PRIOR TO INSTALLING PLANTINGS.



SHRUB PLANTING DETAIL N.T.S.



TREE PLANTING (For Trees under 4" caliper) N.T.S.



Registered Professional Engineers
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Lexington, MA 02420

PROJECT TITLE
**Proposed Building G at
South Cape Village
Shopping Center
11 Commercial Street
Mashpee, MA 02649**

DATE DESCRIPTION

SHEET TITLE

Landscape Plan

SHEET NO

C3.1

DATE: JULY 10, 2021

20 0 20 40

SCALE IN FEET

SCALE: 1"=20'

DRAWN BY: JKL CHECKED BY: MWE

JOB NO.: 2015-049 FILE: 2015-049 SW LA.dwg

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PROJECT TITLE

**Proposed Building G at
South Cape Village
Shopping Center
11 Commercial Street
Mashpee, MA 02649**

DATE DESCRIPTION

SHEET TITLE

Utility Plan

SHEET NO

C5.0

DATE: JULY 10, 2021

20 0 20 40

SCALE IN FEET

SCALE: 1"=20'

DRAWN BY: JKL CHECKED BY: MWE

JOB NO.: 2015-049 FILE: 2015-049 UT.dwg

UTILITY NOTES:

1. CAUTION: THE CONTRACTOR SHALL CONTACT DIG SAFE (AT 1-888-DIG-SAFE) AND UTILITY COMPANIES TO LOCATE ALL EXISTING UTILITIES, AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION, BOTH HORIZONTALLY AND VERTICALLY, OF ALL EXISTING UTILITIES BEFORE THE START OF ANY WORK. THE LOCATION OF EXISTING UNDERGROUND SYSTEMS, INFRASTRUCTURE, UTILITIES, CONDUITS AND LINES ARE SHOWN IN AN APPROXIMATE WAY ONLY. MAY NOT BE LIMITED TO THOSE SHOWN HEREIN AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER, THE ENGINEER, OR ITS REPRESENTATIVE. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE SAID SYSTEMS, INFRASTRUCTURE AND UTILITIES EXACTLY. IF ELEVATION INFORMATION DIFFERS FROM PLAN INFORMATION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN. AT UTILITY CROSSINGS, VERIFY IN FIELD THE LOCATION AND INVERTS OF WATER, ELECTRIC, GAS, TELEPHONE & DATA/COMM AND RELOCATE IF CONFLICTING WITH PROPOSED INVERTS PER THE ENGINEERS DIRECTION. THE CONTRACTOR SHALL PRESERVE ALL UNDERGROUND SYSTEMS, INFRASTRUCTURE AND UTILITIES AS REQUIRED.

2. 12" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN ALL UTILITY CROSSINGS.

3. A MINIMUM 10' HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER AND SEWER LINES. WHERE WATER LINES CROSS SEWER LINES, THE SEWER LINE SHALL BE LOCATED WITH A MINIMUM VERTICAL CLEARANCE OF 18" BELOW THE WATER LINE. THE SEWER LINE JOINTS SHALL BE LOCATED EQUIDISTANT AND AS FAR AWAY FROM THE WATER LINE AS POSSIBLE. WHEN IT IS IMPOSSIBLE TO ACHIEVE HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER LINE AND SEWER LINE AT THE CROSSING LOCATION SHALL BE CONSTRUCTED OF MECHANICAL JOINT CEMENT-LINED DUCTILE IRON PIPE FOR ONE FULL 20' PIPE LENGTH OR ANOTHER EQUIVALENT THAT IS WATERTIGHT AND STRUCTURALLY SOUND. THE JOINTS FOR BOTH PIPES SHALL BE LOCATED AS FAR AWAY FROM THE CROSSING AS POSSIBLE. BOTH PIPES SHOULD BE PRESSURE TESTED TO 150 PSI TO ENSURE THAT THEY ARE WATERTIGHT.

4. COMMERCIAL SEWER BUILDING CONNECTIONS SHALL BE 6" MIN. SCHEDULE 40 PVC U.O.N. AT A MINIMUM SLOPE OF 1:24 U.O.N. FROM MAINLINE TO BUILDING. INSTALL A CLEANOUT ON EACH SERVICE LINE AT DISTANCE OF 10'±(U.O.N.) OFF THE FOUNDATION, AT A CHANGE OF HORIZONTAL DIRECTION GREATER THAN 45° OR WERE MORE THAN ONE CHANGE OF HORIZONTAL DIRECTION GREATER THAN 45° OCCURS WITHIN 40 FEET. CLEANOUTS SHOULD BE LOCATED AT INTERVALS OF NOT MORE THAN 100 FEET. ALL PIPING FOR COMMERCIAL BUILDINGS SHALL BE PER PLUMBING CODE WITHIN 10 FEET OF BUILDING.

5. ALL WATERLINE MATERIALS AND WORKMANSHIP TO CONFORM TO THE RULES, REGULATIONS AND SPECIFICATIONS OF THE MASHPEE WATER DISTRICT AS AMENDED TO PRESENT. WATER DIVISION HAS AUTHORITY TO AMEND PLANS. IF ANY CONFLICTS WITH THE CONTRACT DOCUMENT OCCUR THE HIGHER STANDARD SHALL APPLY. THE WRITTEN SPECIFICATIONS OF THE TOWN MASHPEE WATER DIVISION ARE HEREBY INCLUDED BY REFERENCE AND CONSIDERED A PART OF THE CONTRACT DOCUMENTS.

6. VALVE BOXES AND CURB BOXES SHALL BE BUFFALO OR PIONEER AND SHALL BE FURNISHED AND INSTALLED FOR ALL VALVES. THEY SHALL BE CAST IRON, TAR COATED, SLIDING TYPE ADJUSTABLE VALVE BOXES TOGETHER WITH CAST IRON COVERS. SEE WATER DIVISION REGULATIONS.

7. TYPICAL COVER OVER WATER LINE SHALL BE 5'. IF LESS THAN 4' OF COVER IS PROVIDED, INSULATE WATER LINE AGAINST FREEZING IN ACCORDANCE WITH DETAIL #205 OR EQUAL.

8. WATERLINE INSTALLATION REQUIRES THE ROD RESTRAINED JOINTS TO BE USED AT ALL BENDS, ENDS OF LINE, VALVES AND FIRE HYDRANTS, PER MASHPEE WATER DIVISION REQUIREMENTS. RESTRAINED JOINTS TO BE INSTALLED PER MASHPEE WATER DIVISION REQUIREMENTS.

9. IF RESTRAINED JOINTS CAN'T BE USED DUE TO PHYSICAL CONSTRAINTS, ONLY AS SPECIFICALLY APPROVED BY THE WATER DIVISION, THRUST BLOCKS TO BE INSTALLED AT ALL BENDS, ENDS OF LINE, VALVES AND FIRE HYDRANTS IN ACCORDANCE WITH DETAIL #301. CONCRETE THRUST BLOCKS AS REQUIRED. CONCRETE SHALL BE 1 PART CEMENT TO 2 PARTS SAND AND 4 PARTS COARSE AGGREGATE. CONCRETE CLASS "C" WITH A 28 DAY COMPRESSION STRENGTH OF 2000 PSI MINIMUM AGGREGATE SIZE OF 1-1/2". THRUST BLOCKS SIZED PER SPECIFICATIONS. ALTERNATELY PRECAST THRUST BLOCKS TO DIVISION SPECIFICATIONS MAY BE UTILIZED. CARE SHALL BE TAKEN TO ENSURE THAT ALL CONCRETE THRUST BLOCKS BEAR AGAINST UNDISTURBED TRENCH WALLS AND NOT TO ENCASE FLANGES AND BOLTS ON MECHANICAL JOINT FITTINGS. WHERE UNSUITABLE BEARING MATERIAL IS ENCOUNTERED, EXCAVATE AND PLACE SUFFICIENT CONCRETE BALLAST TO OFFSET THE ANTICIPATED THRUSTS.

10. MASHPEE WATER DIVISION APPROVED WATER SUBCONTRACTOR AND THIRD PARTY INSPECTOR REQUIRED. COST OF THE INSPECTOR SHALL BE BORN BY THE CONTRACTOR/WATER SUBCONTRACTOR.

11. AUTOMATIC SPRINKLERS SHALL BE INSTALLED IN ACCORDANCE WITH MASSACHUSETTS BUILDING CODE AND APPLICABLE NFPA REGULATIONS, IF SO REQUIRED.

12. PROVIDE A STORZ OR OTHER REQUIRED FIRE DEPARTMENT CONNECTION (FDC) AT THE LOCATION AS SHOWN ON THE PLAN IF SO NOTED. FINAL LOCATION SHALL BE APPROVED BY THE FIRE DEPARTMENT. REFER TO ARCHITECTURAL, MEP AND FPE PLANS FOR LAYOUT, DETAILS, AND SPECIFICATIONS OF FIRE SPRINKLER SYSTEM.

13. GAS, ELECTRIC, DATA/COM IS SHOWN SCHEMATICALLY HEREON. ALL LABOR, WORK, EQUIPMENT AND MATERIALS FOR INSTALLATION OF THESE UTILITIES SHALL BE OWNED AND PERFORMED BY THE CONTRACTOR. UTILITIES SHALL BE INSTALLED WITH A MINIMUM COVER OF 3 FEET U.O.N. OR OTHERWISE DIRECTED BY THE CONTROLLING UTILITY COMPANY. CONTRACTOR SHALL COORDINATE ALL FINAL LAYOUTS AND DETAILS WITH APPLICABLE UTILITY COMPANY.

14. POWER AND COMMUNICATION DUCT BANKS SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL #C-832. WHERE A DESIGN BY THE UTILITY COMPANY OR MEP ENGINEERS ARE PROVIDED THOSE SHALL SUPERCEDE #C-832.

15. ALL COMMERCIAL LIGHTING SHALL DIRECT ALL LIGHT SO AS TO KEEP ALL LIGHTING WITHIN SUBJECT LOT. ALL COMMERCIAL LIGHTING SHALL HAVE THE FIXTURE HEIGHT SET AT 25' MAXIMUM HEIGHT ABOVE GRADE.

16. ALL LIGHTING FIXTURE LOCATIONS, SPECIFICATIONS AND PHOTOMETRIC PLAN SHALL BE DEVELOPED BY THE LIGHTING VENDOR AND/OR ELECTRICAL ENGINEER. ALL FIXTURES SHALL BE LED AND MOUNTED ON NOTED POLE HEIGHT AND CONCRETE BASE HEIGHT (FIXTURE HEIGHT NOT TO EXCEED 25 FT ABOVE GRADE OR AS OTHERWISE NOTED).

17. ALL UTILITY CUTS THROUGH EXISTING CONCRETE OR BITUMINOUS CONCRETE PAVED SURFACES SHALL BE SAWCUT. BACK FILLING OF TRENCH SHALL INCLUDE 12" IN DEPTH FLOWABLE FILL TO THE BASE COURSE OF THE SURFACE TREATMENT. THE SURFACE TREATMENT SHALL THEN BE REPLACED IN KIND.

18. SITE CONTRACTOR TO OWN ALL EXCAVATION, TRENCHING & BACKFILLING FOR ALL UTILITIES AND MISCELLANEOUS WORK INCIDENTAL TO THE SCOPE OF THE PROJECT AND CONTRACT DOCUMENTS. CONTRACTOR SHALL REFER TO MEP AND LANDSCAPE PLANS BY OTHERS FOR ADDITIONAL INFORMATION AS APPLICABLE.

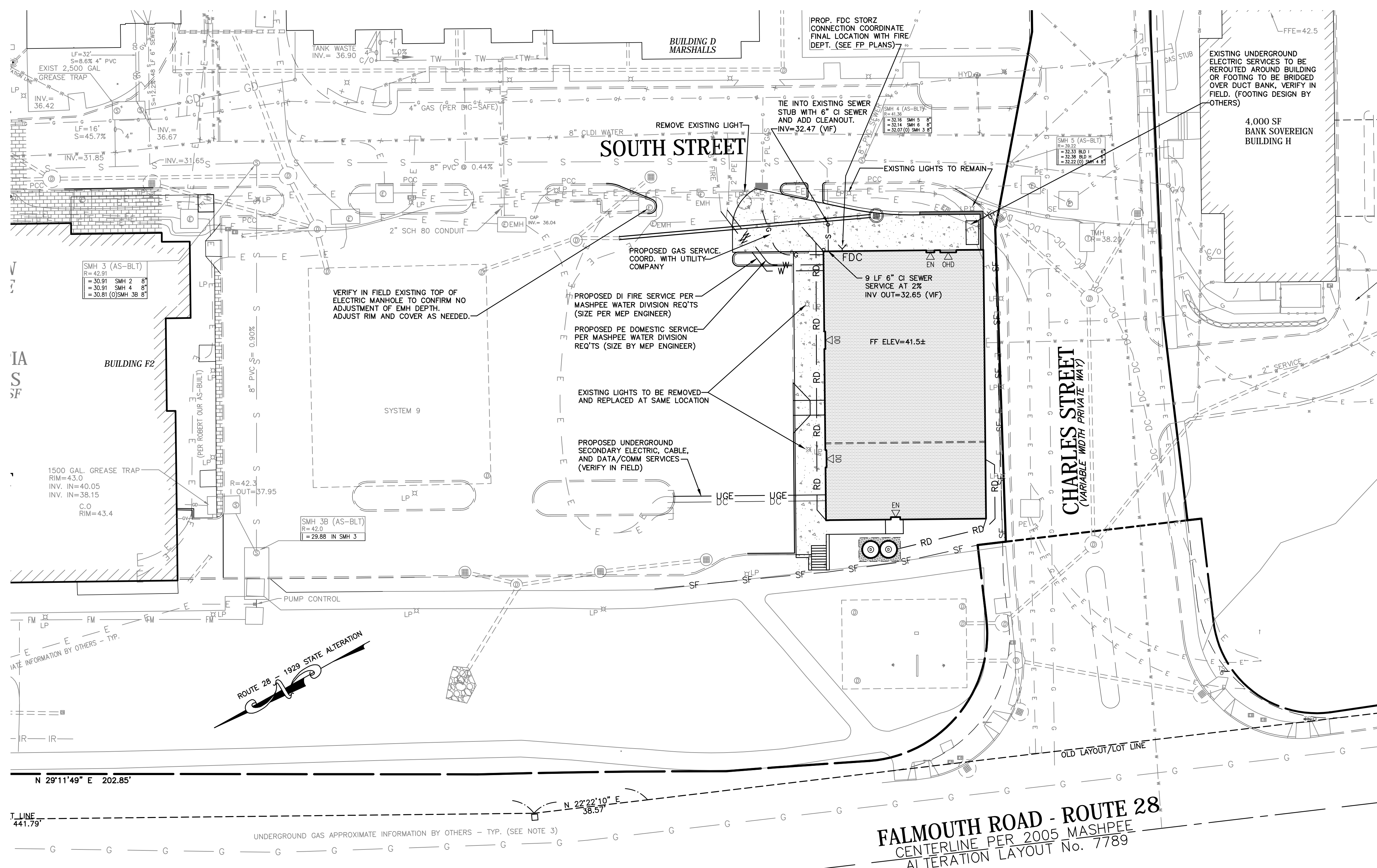
19. ALL WORK WITHIN THESE PLANS SHALL BE PERFORMED AND PROVIDED BY THE CONTRACTOR IN ACCORDANCE WITH THE CONSTRUCTION DETAILS PROVIDED IN THIS PLAN SET WHETHER OR NOT THE DETAIL NUMBER IS SPECIFICALLY REFERENCED.

20. ALL COVERS, CURB BOXES, GRATES, AND OTHER FINISH SURFACES SHALL BE RESET TO THE NEW FINISH GRADE.

21. THE FIRST 10 FEET FROM THE BUILDING FACE FOR STORM DRAIN, SEWER AND WATER PIPING SHALL FOLLOW THE PLUMBING CODE. THIS INCLUDES THE FIRST 10 FT OF STORM DRAIN AND SEWER PIPE TO BE CAST IRON MATERIAL. REFER TO PLUMBING PLANS BY OTHERS AS APPLICABLE.

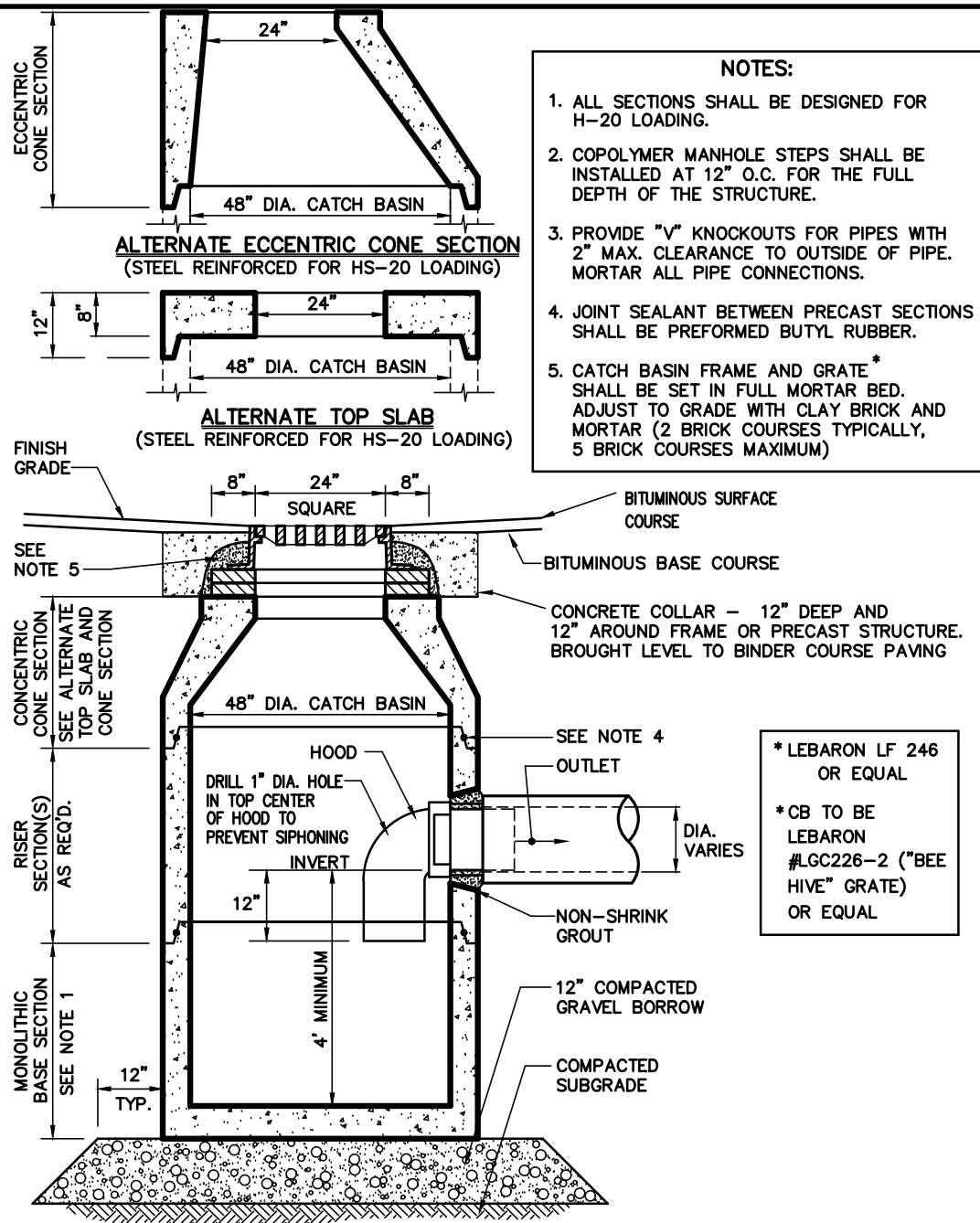
22. WHERE UTILITIES CALLED OUT TO BE ABANDONED IN PLACE OR REMOVED AS NEEDED CONTRACTOR SHALL OWN REMOVING PIPE AND APPURTENANCES AS NEEDED WHERE THEY CONFLICT WITH PROPOSED WORK.

23. ALL UTILITY STUB LOCATIONS SHALL BE VERIFIED IN FIELD BY CONTRACTOR AND COORDINATED WITH APPROPRIATE UTILITY COMPANIES.

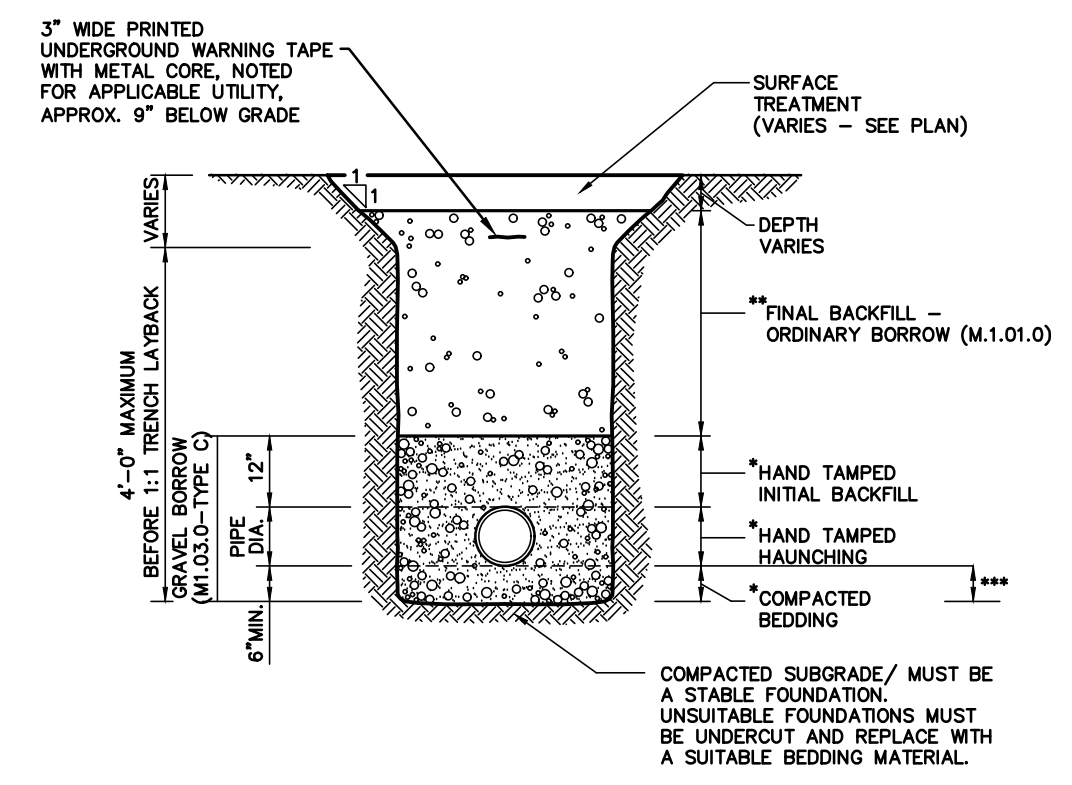


FALMOUTH ROAD - ROUTE 28
CENTERLINE PER 2005 MASHPEE
ALTERATION LAYOUT No. 7789

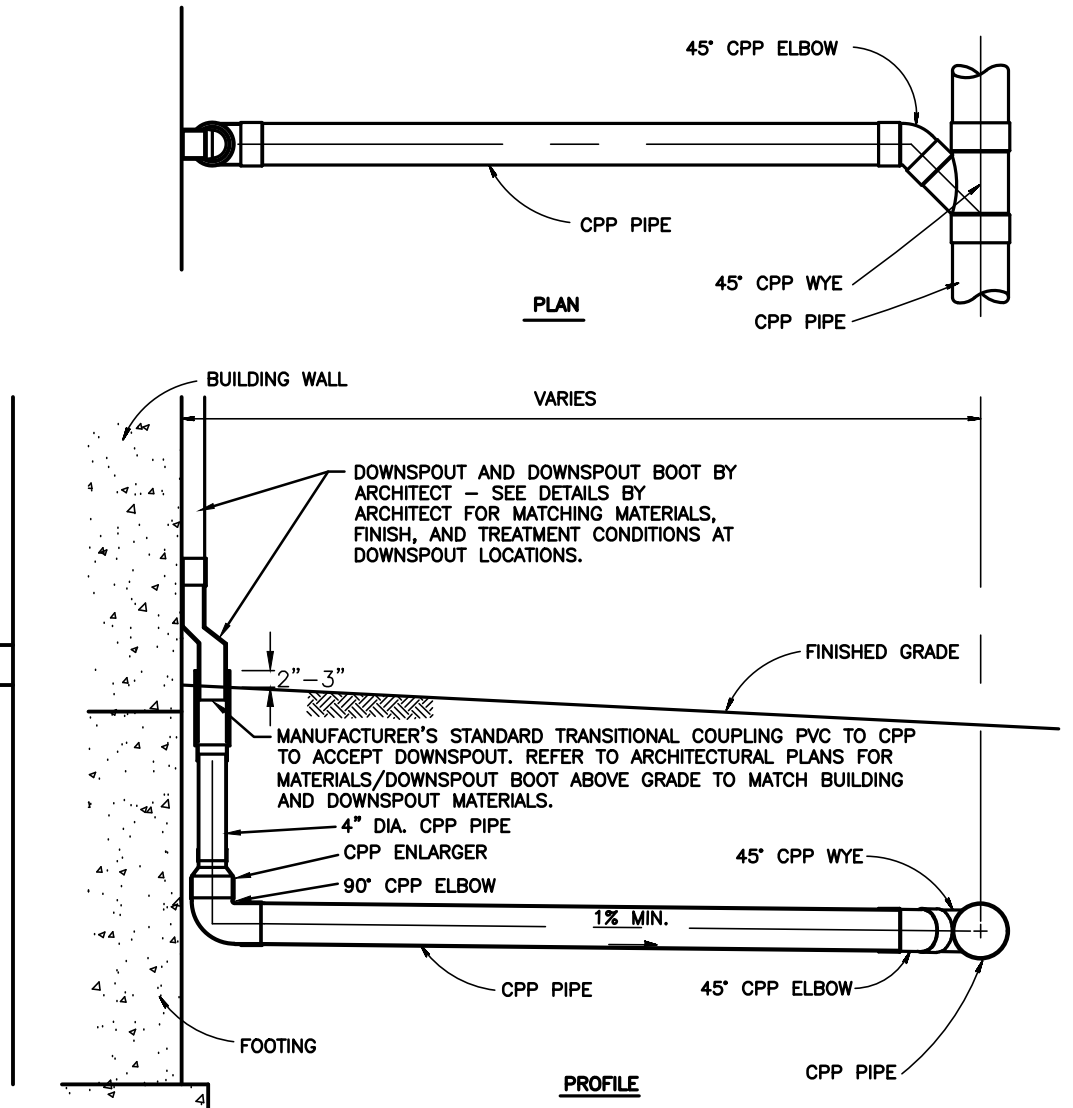
FOR PERMIT ONLY - NOT FOR CONSTRUCTION



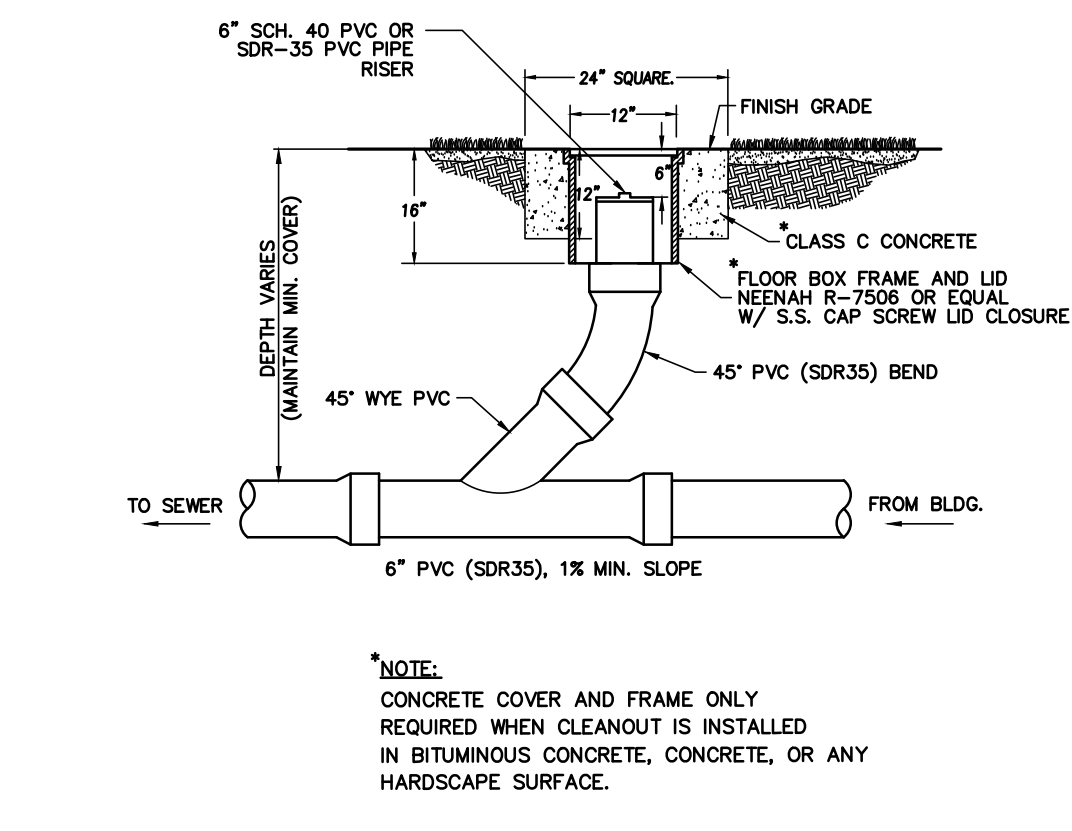
C-105-A CATCH BASIN (CB) WITH GAS TRAP DETAIL N.T.S.



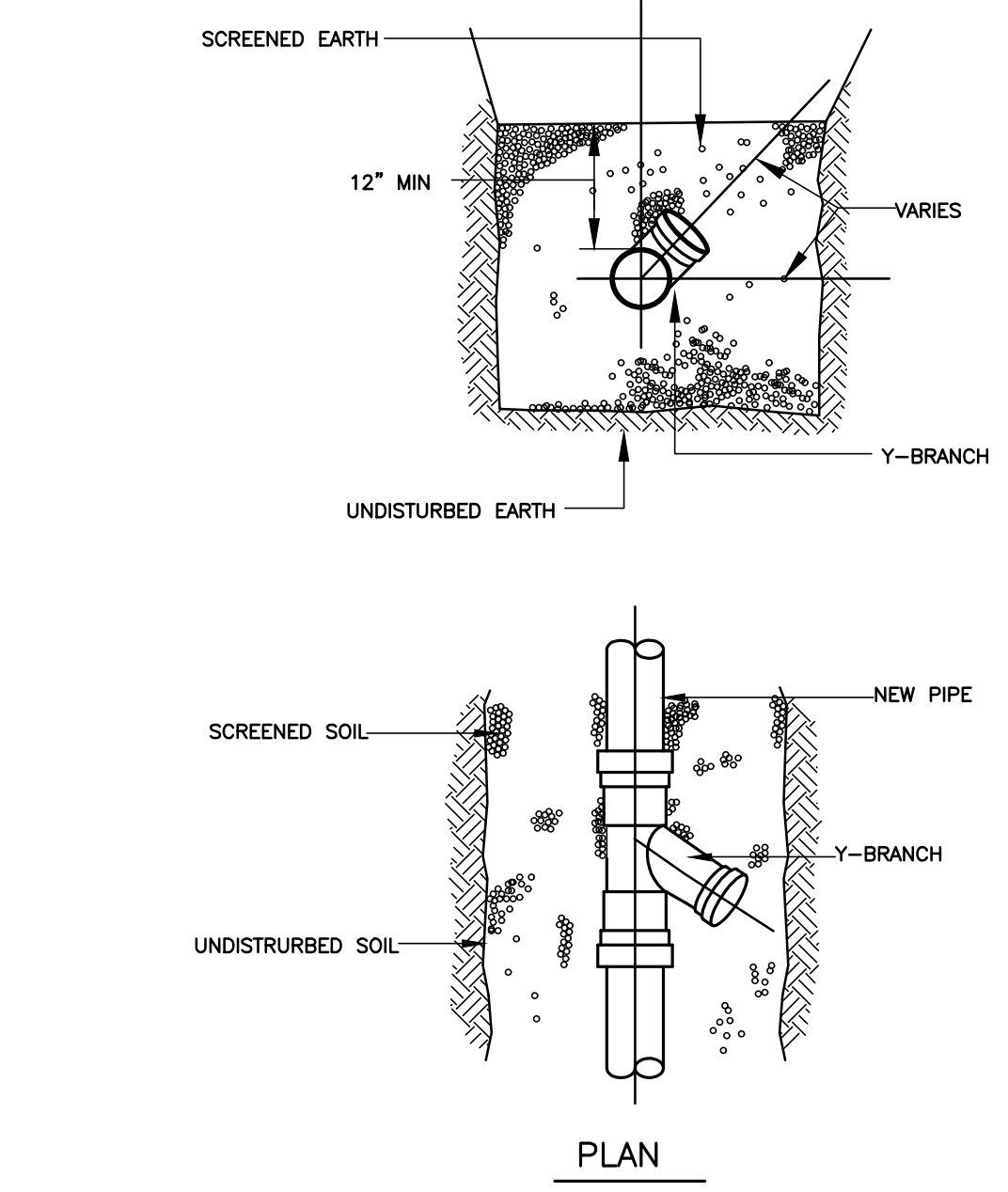
C-118 UTILITY TRENCH DETAIL N.T.S.



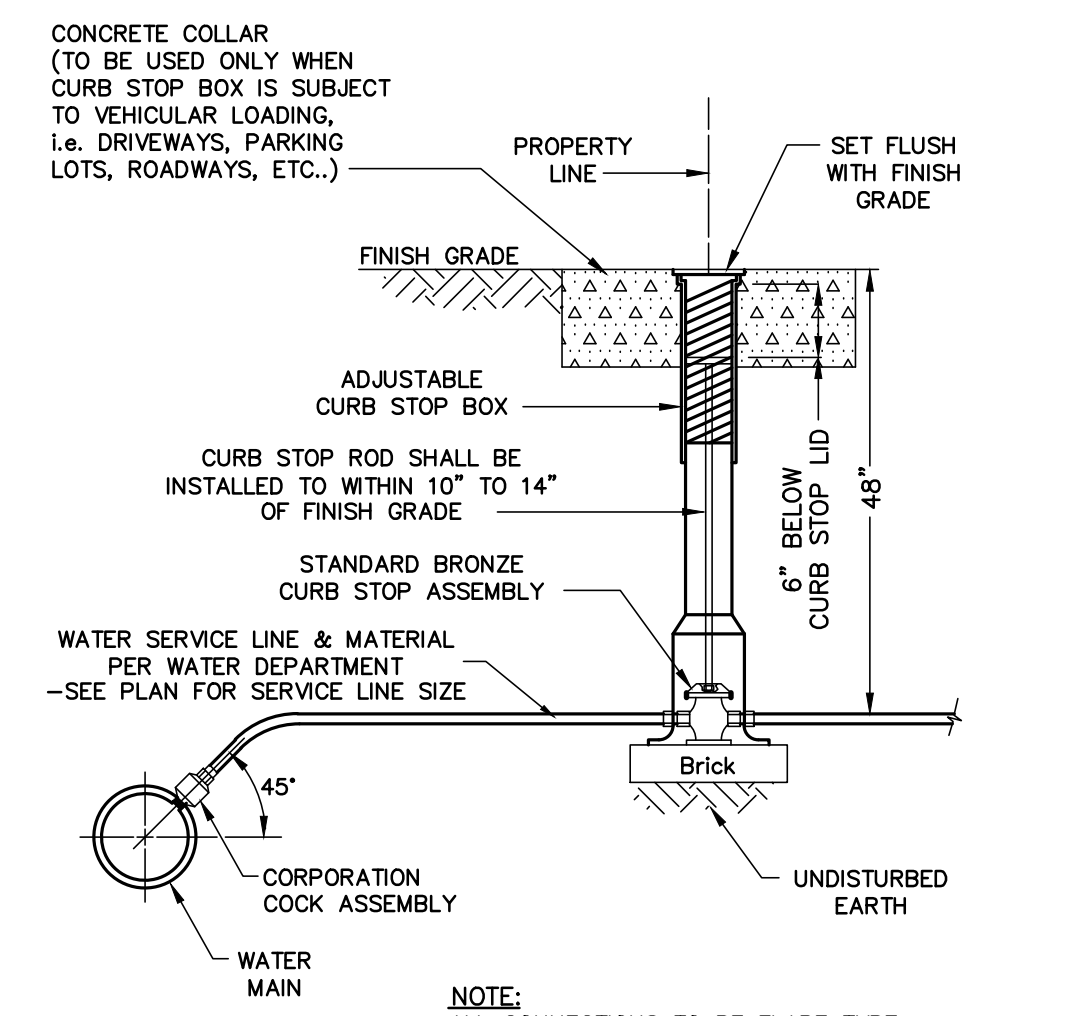
C-132 ROOF DRAIN DETAIL N.T.S.



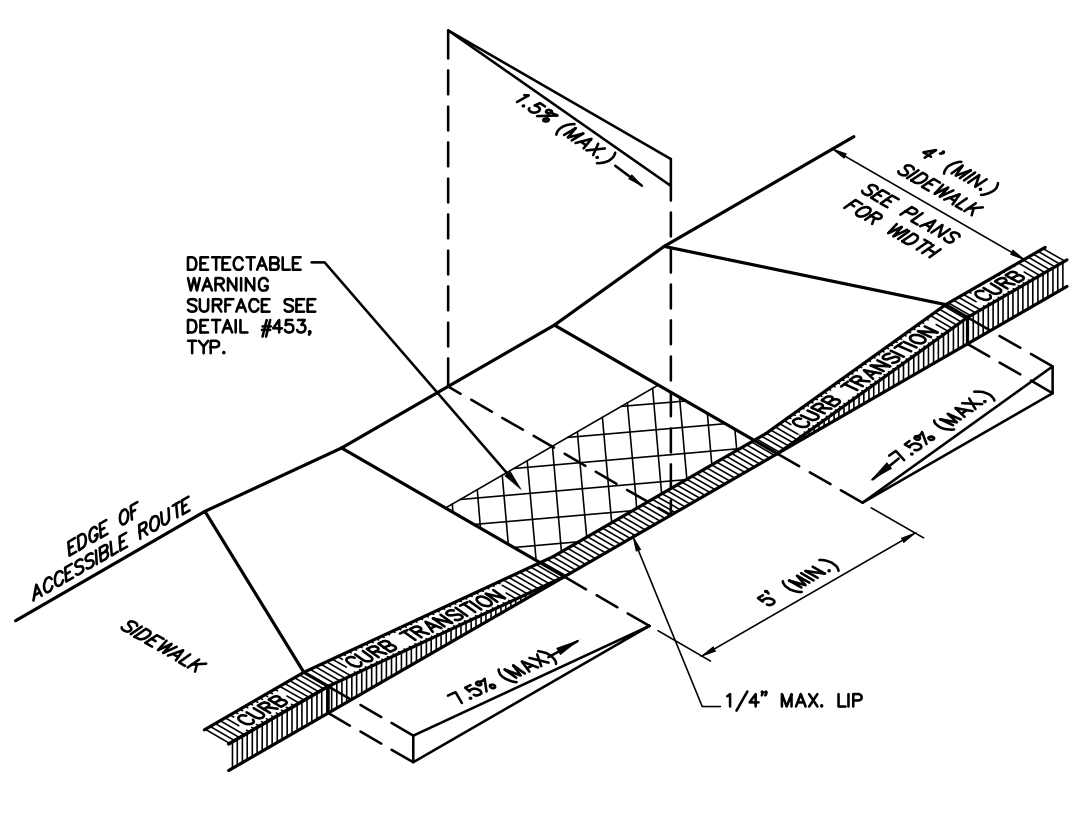
C-204 SEWER SERVICE CLEAN-OUT DETAIL N.T.S.



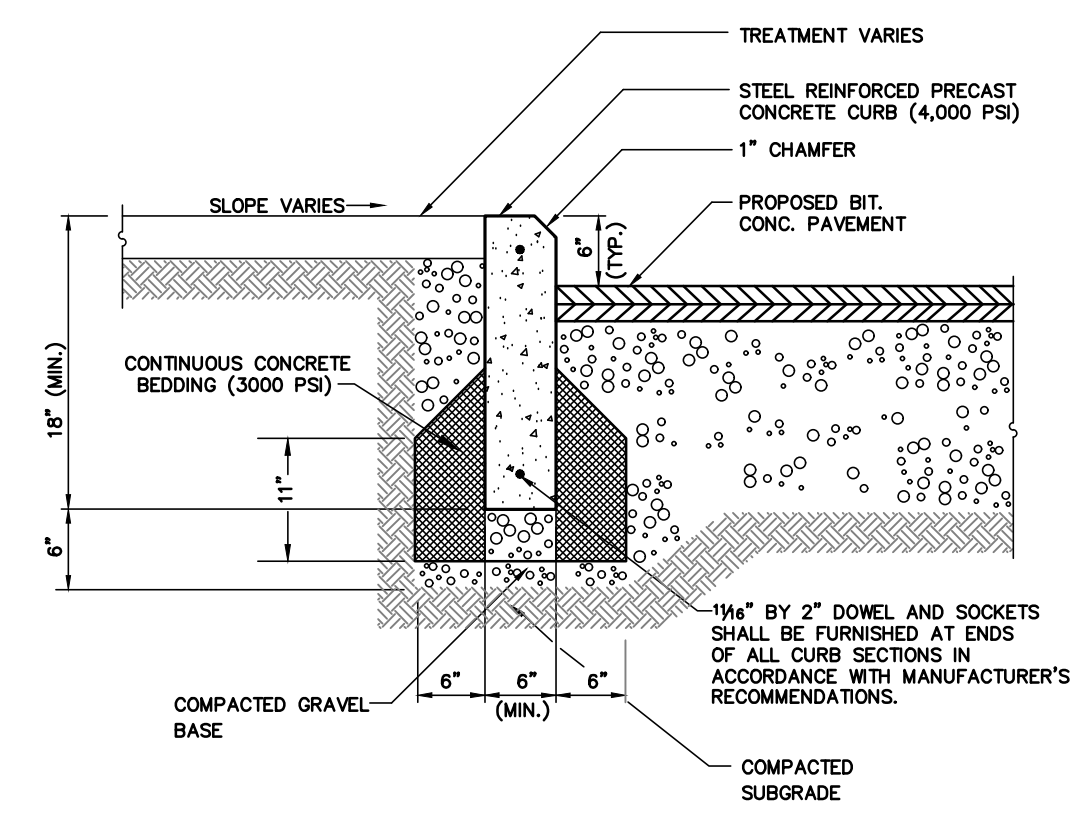
C-221 SEWER SERVICE CONNECTION DETAIL N.T.S.



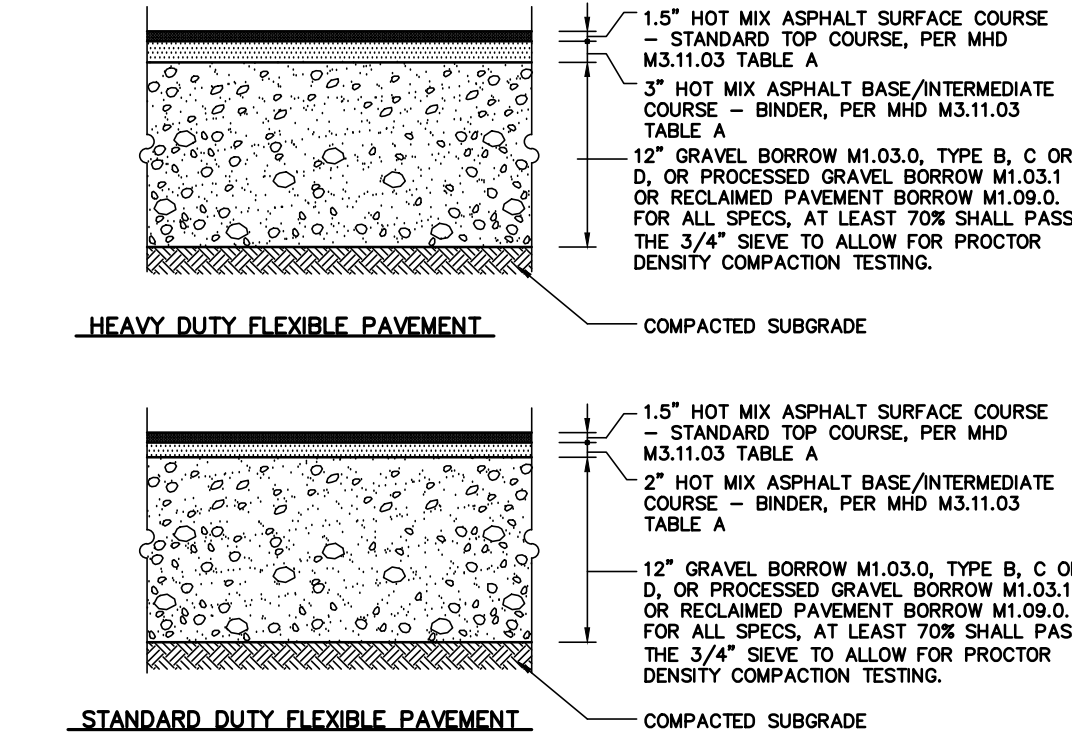
C-313 SINGLE WATER SERVICE CONNECTION DETAIL N.T.S.



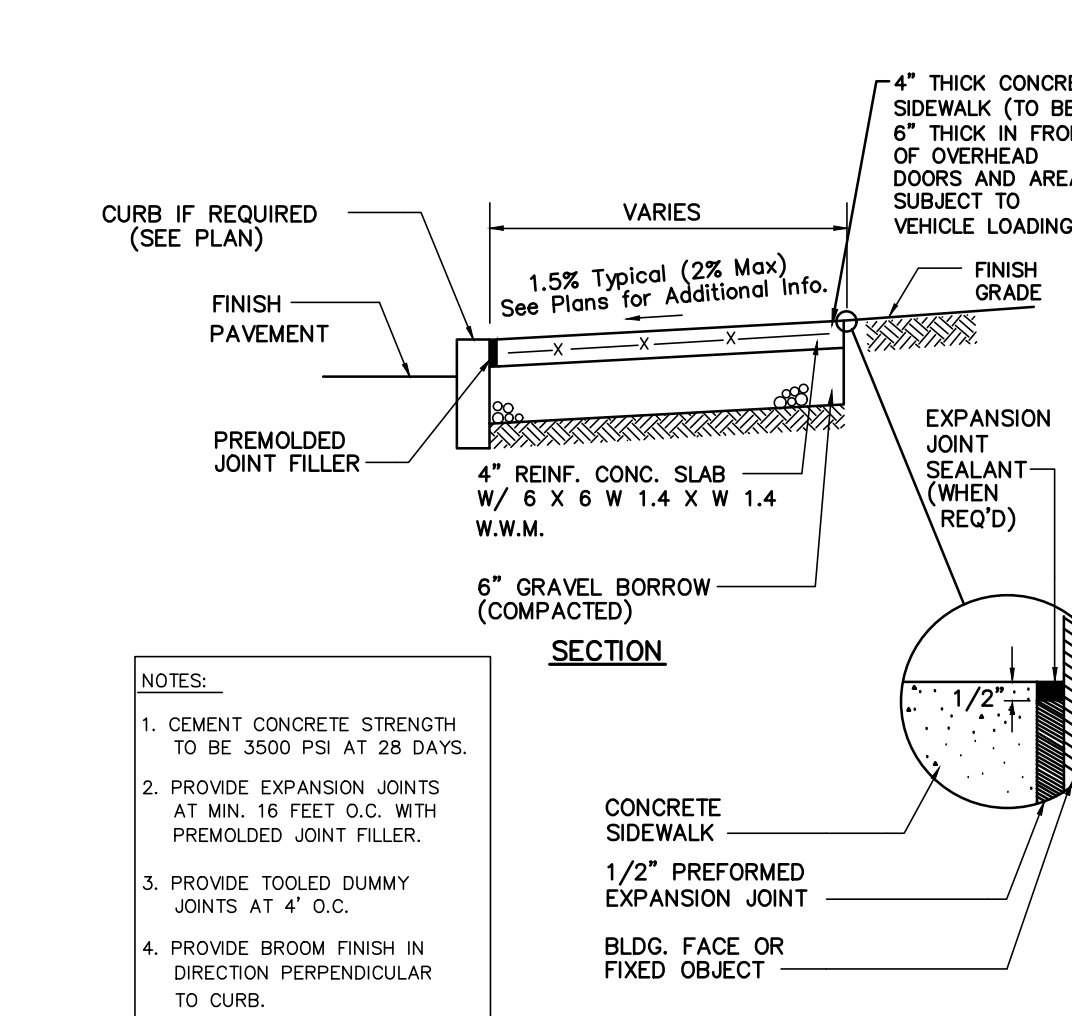
C-400 ACCESSIBLE CURB RAMP - TYPE 'A' DETAIL N.T.S.



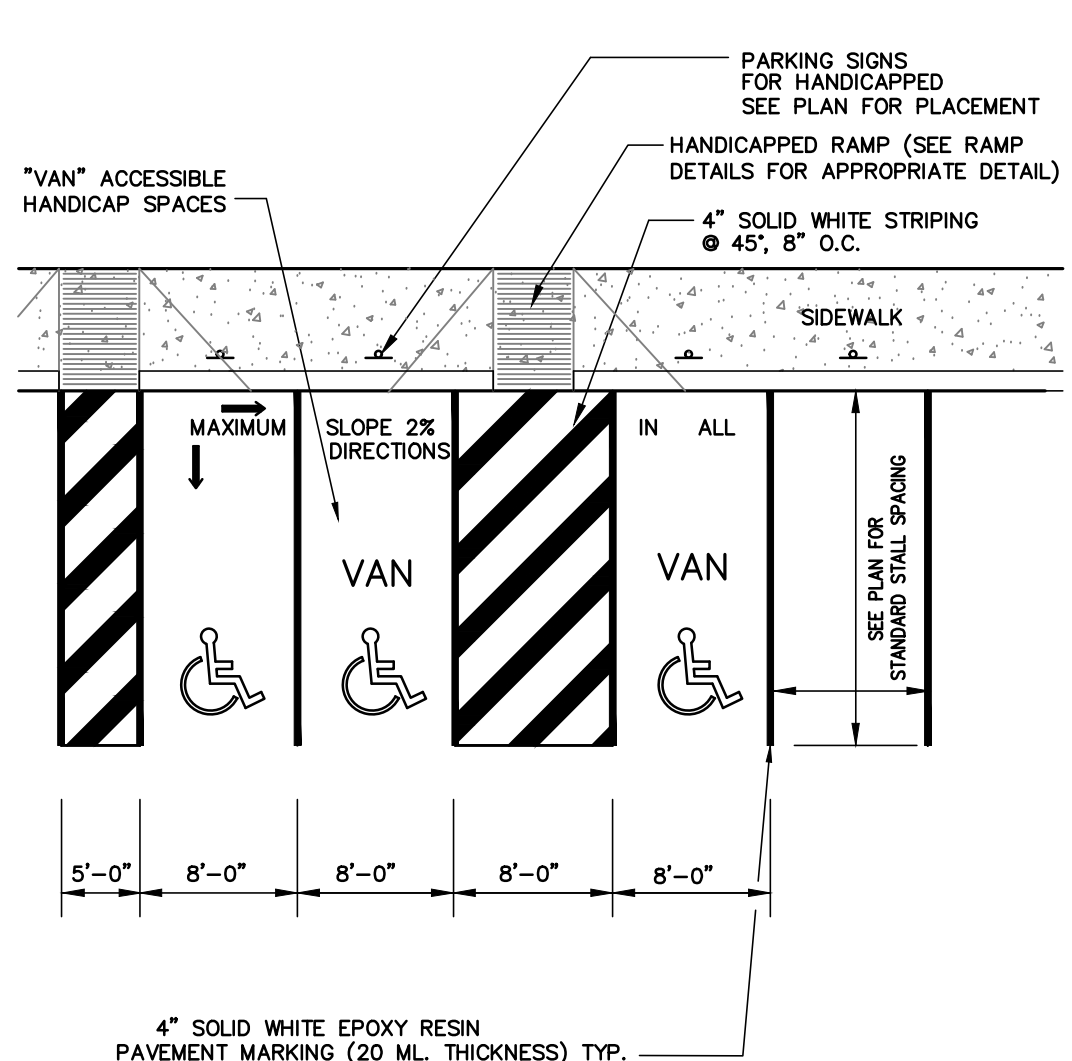
C-412 PRECAST CONCRETE CURB (PCC) DETAIL N.T.S.



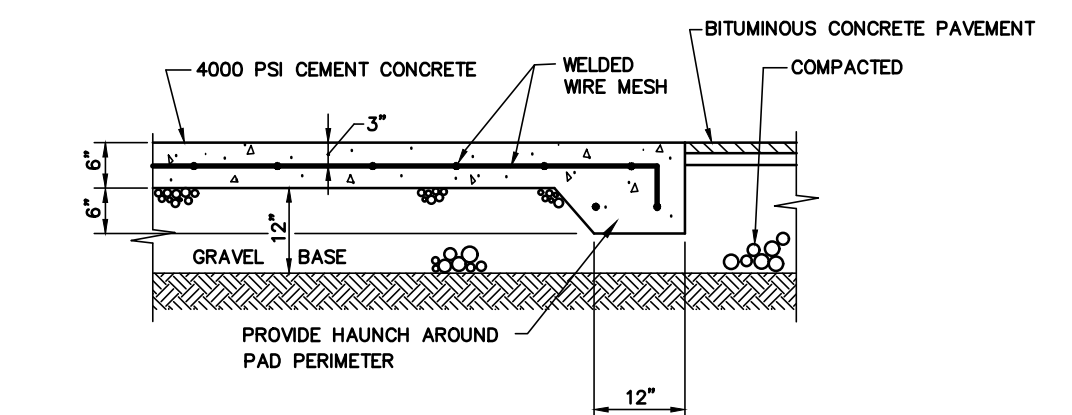
C-418 BITUMINOUS CONCRETE PAVEMENT SECTIONS DETAIL N.T.S.



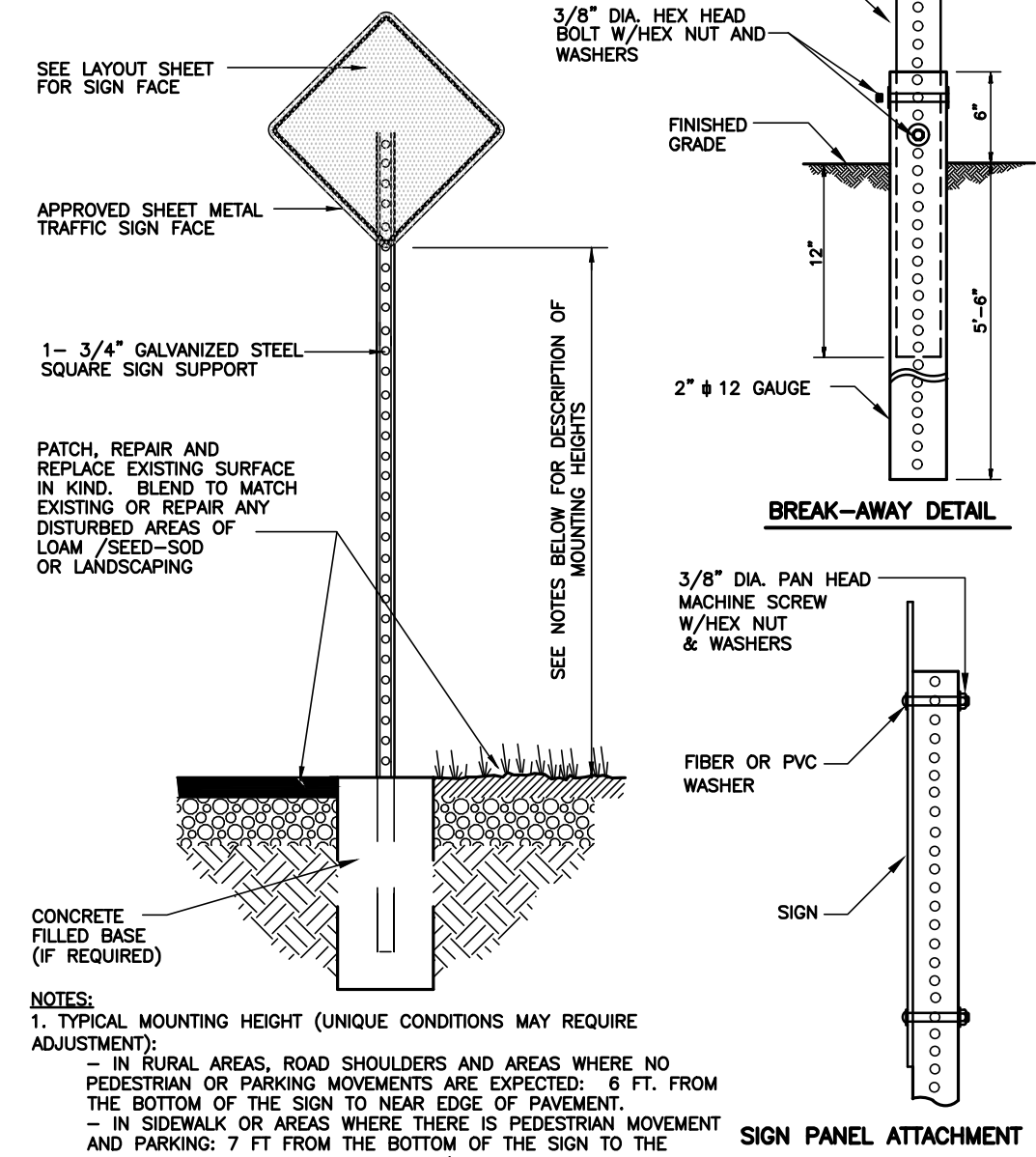
C-420 CONCRETE SIDEWALK DETAIL N.T.S.



C-440 HANDICAP PARKING AND STANDARD STALL LAYOUT DETAIL N.T.S.



C-442 CONCRETE PAD DETAIL N.T.S.



C-715 TRAFFIC SIGN POST DETAIL N.T.S.



C-727 ACCESSIBLE PARKING SIGN DETAIL N.T.S.

STAMP	STAMP
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CONSULTANT	CONSULTANT
------------	------------

PREPARED FOR:
DPF Mashpee, LLC
c/o Charter Realty & Development Corp.
1666 Massachusetts Avenue,
Suite 6A
Lexington, MA 02420

PROJECT TITLE
Proposed Building G at South Cape Village Shopping Center
11 Commercial Street
Mashpee, MA 02649

DATE	DESCRIPTION

SHEET TITLE
Details Plan

SHEET NO
C6.0

DATE: JULY 10, 2021

SCALE: NO SCALE
DRAWN BY: JKL CHECKED BY: MWE
JOB NO.: 2015-049 FILE: 2015-049 SW DT.dwg

FOR PERMIT ONLY - NOT FOR CONSTRUCTION

Meredith L. M. Kilpatrick

508-539-1990 (H) 978-621-1489 (C) P.O. Box 1481; Mashpee, MA 02649 mkilpatrick@kw.com

30 August 2021 via email

Town of Mashpee
Planning Board Chair, John Fulone
16 Great Neck North
Mashpee, MA 02649

RE: South Cape Village – **Water/Wastewater/Sewer issues** in parking lot **July & August 2021**
AND South Cape Village **Expired DRI 31MAR2021**
SCHEDULED FOR REVIEW AT THE 01SEP21 PLANNING BOARD MEETING

Dear Chair Fulone,

Thank You in advance for your time and attention. Attached please a photo summary page of the parking lot at South Cape Village, Roche Brothers Grocery Store for your review. Oddly, I noticed a steady, repetitive stream running down the parking lot at Roche Brothers prior to the 4th of July weekend. Upon returning a few days later, the same stream was present, very wet for hundreds of feet, that ended with a flow into the storm water drain close to the grocery store at the front traffic lanes. The next few weeks we enjoyed 80-90 degree days with little to no rain and this steady stream was ever present and therefor concerning, I looked for the source.

Please see photos of an island at the rear of the Roche Brothers parking lot that has a fluid, possibly effluent providing a steady source of non-drying stream that continued for weeks.

1. Has anyone investigated the SCV water usage reports? Could this possibly be a simple broken sprinkler head and poor maintenance of the SCV allowed it to run for weeks?
2. Has anyone investigated the accuracy of the SCV sewer treatment inflow/outflow reports for integrity?
3. What is this stream of liquid?
4. How long had it been in this condition prior to July 2021? The unusual colored growth surrounding the curb and parking lot indicates a lengthy time of continued flourishing flow.
5. What is the activity noted in the photograph from today, 30AUG21?

Also attached for review is a copy of the modification to the “DRI Permit Extension Decision- South Cape Village” dated 01OCT2015 from the Cape Cod Commission. Please note, this modification was obtained in 2015 to destruct existing retail space, parking spaces and a brick, vehicle passageway to make room for the expanded HomeGoods retail space. **This DRI Permit extension expired effective 31MAR21.**

It is concerning to me that Design Review Committee for the Town of Mashpee did not address any of the maintenance problems at South Cape Village, including the ever present trash. It is equally concerning, that no conversation investigated or confirmed or even occurred on the expired DRI permit extension and what consequences are the result of submitting any permit under this expired permit.

As you know, South Cape Village was sold by the Talanian Realty Co. (a.k.a. Mashpee Investors, LLC) to DPF Mashpee LLC, a registered subsidiary of Black Creek Group of Denver, CO, now known as ARES of London, England. All entities now affiliated with South Cape Village = DPF Mashpee LLC, Black Creek Group and ARES are registered in the State of Massachusetts as Foreign Limited Liability companies, with local agent Eliza Cox of Nutter, McClellan & Fish as their sole, local fiduciary and legal representative.

Meredith L. M. Kilpatrick

508-539-1990 (H) 978-621-1489 (C) P.O. Box 1481; Mashpee, MA 02649 mkilpatrick@kw.com

30AUG21 – Planning Board Chair Fulone & SCV – Page 2

As I know you agree, it is important to hold accountable for action and process, any developer in the Town of Mashpee. I ask that any current requests for permits before the Mashpee Planning Board for South Cape Village be denied without extension and any work be halted immediately until the town's permitting matches the Cape Cod Commission regulatory DRI process AND most especially, until the parking lot fluid stream issue be made public with confirmation of all requisite water billing and private wastewater treatment reports be confirmed for accuracy and integrity.

Thank you again for your time and attention.

Kind Regards,

Meredith L. M. Kilpatrick signed electronically 30AUG21

Meredith L. M. Kilpatrick

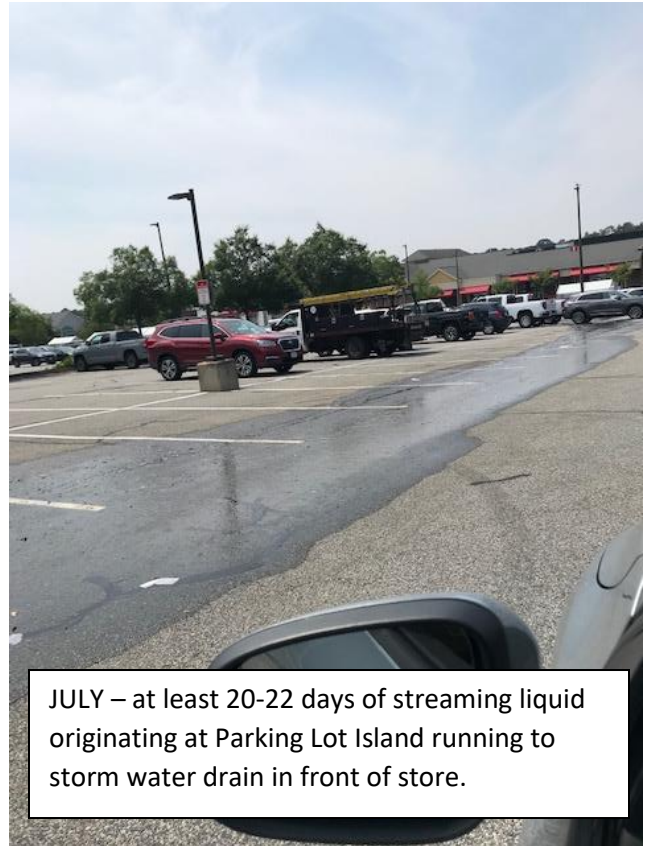
N.B. = cc for inclusion as public record are:

- Mashpee Select Board Chair, Carol Sherman
- Mashpee Town Manager, Rodney Collins
- Mashpee Town Planner, Evan Lehrer
- Mashpee Town Clerk, Deborah Dami
- MA State Senator Julian Cyr
- Office of MA State Senator Cyr – Legal Counsel, Elizabeth Ganz
- Office of MA State Senator Cyr – Legislative Aide, Ashley Benson

**SOUTH CAPE VILLAGE – ROCHE BROTHERS PARKING LOT UPPER LEFT ISLAND
2021 MULTIPLE DAYS AND WEEKS IN JULY & AUGUST**



JULY – at least 20 days at Pkg Lot Island – enlarge to see green/multi color slime/sludge on curb.



JULY – at least 20-22 days of streaming liquid originating at Parking Lot Island running to storm water drain in front of store.



August – 1st week at Pkg Lot Island – enlarge to see **sludge and/or paper** at right of pink flag.



August 30, 2021 – What is happening here?

3225 MAIN STREET • P.O. BOX 226
BARNSTABLE, MASSACHUSETTS 02630



CAPE COD
COMMISSION

(508) 362-3828 • Fax (508) 362-3136 • www.capecodcommission.org

DRI Permit Extension Decision- South Cape Village, Mashpee

Date: October 1, 2015

To: DPF Mashpee LLC (Applicant/ Owner)
c/o Eliza Cox, Esq.
Nutter McClennen & Fish LLP
1471 Lyannough Road
P. o. Box 1630
Hyannis, Massachusetts 02601-1630

Re: Development of Regional Impact- Permit Extension

Project/ South Cape Village (CCC Nos. TR97007 and MOD 02030)
Project Site: Route 28 (Falmouth Road) & Donna's Lane, Mashpee

-
1. The above-referenced Project has the benefit of a Cape Cod Commission development of regional impact decision, TR97007, dated December 14, 2000, which was subsequently modified several times, including two major modifications (noted as CCC Project No. MOD02030) dated, respectively, April 10, 2003, and March 31, 2005 (collectively, the "DRI Permit").
 2. By virtue of the terms and conditions of the DRI Permit and the Commonwealth's Permit Extension Act, the DRI Permit will expire March 31, 2016.
 3. The DRI Permit approved construction of up to 160,000 square feet of shopping center space in designated building footprint areas, together with associated landscaping, parking, drainage and other site and transportation improvements.
 4. Most of the shopping center has been constructed; however there is one designated building footprint area/phase, approved under the DRI Permit for approximately 12,000 square feet of floor area, which remains unconstructed (which uncompleted phase is shown on the plan submitted with the Applicant's DRI Permit extension request entitled "Master Plan, Sheet EX1.0, dated September 14, 2015, prepared by Baxter Nye Engineering and Surveying for DPF MASHPEE LLC c/o Dividend Capital Diversified Property Fund Inc.").

5. The Applicant/ Owner recently purchased the Project/ Project Site from the original permittee Mashpee Investors, LLC in April 2015 (See deed recorded with the Barnstable County Registry of Deeds in Book 28780, Page 94, and with the Barnstable County Registry District of the Land Court as Document Number 1,266,509).

6. The extension is requested to allow the Applicant sufficient time to plan and construct the final building phase ("Building Area 'G'") approved under the DRI Permit. The Applicant has requested a five year extension to the DRI Permit pursuant to Section 7 of the Commission's DRI Enabling Regulations, stating in its request that, rather than immediately obtain all local permits and start construction of this additional building area within the remaining 7 months of the DRI Permit, it desires to complete a thorough assessment of the needs of the shopping center and thoughtfully plan and design the remaining building program. The DRI Enabling Regulations authorize the Commission's Committee on Planning and Regulation, upon appropriate request and after public hearing, to grant an extension of a DRI Permit for up to five years.

7. The DRI Permit contains Conditions requiring Cape Cod Commission staff review of each building/ phase of the Project to ensure compliance with the DRI approval. As such, when the proposed building and program are finalized, Commission staff will review the proposal to ensure consistency with the DRI Permit, including of the final phase yet unconstructed.

8. The requested extension will not result in any changes to the findings or conditions of the DRI Permit.

9. The Committee on Planning and Regulation (CPR), after public hearing and for good cause shown by the Applicant, hereby grants a five year extension to the DRI Permit in accordance with Section 7(c)(xiv) of the Commission's Enabling Regulations. Pursuant to this extension, the period for the Applicant to obtain local permits, licenses and approvals pursuant to the DRI Permit, for development authorized under and subject to said DRI Permit, shall now expire **March 31, 2021**.

Signature page(s) follow

SIGNATURE(S)

Executed this 1st day of October 2015.

For the Commission by:
Chair, Committee on Planning and Regulation

Royden E. Richardson
Signature

ROYDEN E. RICHARDSON
Print Name

COMMONWEALTH OF MASSACHUSETTS

Barnstable, ss October 1, 2015

Before me, the undersigned notary public, personally appeared Royden Richardson,

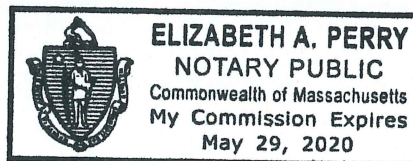
in his/her capacity as CPR Chair of the Cape Cod Commission, whose name is signed on the preceding document, and such person acknowledged to me that he/she signed such document voluntarily for its stated purpose. The identity of such person was proved to me through satisfactory evidence of identification, which was [] photographic identification with signature issued by a federal or state governmental agency, [] oath or affirmation of a credible witness, or [X] personal knowledge of the undersigned.

E. Perry

Notary Public

My Commission Expires:

SEAL





PESCE ENGINEERING & ASSOCIATES, INC.

**43 Porter Lane
West Dennis, MA 02670**
Phone: 508-333-7630
epesce@comcast.net

August 30, 2021

Mashpee Planning Board
Attn: Mr. Evan Lehrer, Town Planner
Mashpee Town Hall
16 Great Neck Road North
Mashpee, MA 02649

RE: Engineering Review of the Proposed Modification of a Special Permit
South Cape Village – Building G

Dear Mr. Lehrer & Members of the Planning Board:

Pesce Engineering & Associates, Inc. is pleased to provide you this engineering review of the proposed modification of a previous Special Permit for Building G at South Cape Village. We have evaluated the plans for consistency with the Town's Zoning Bylaw, and general conformance with the Massachusetts Stormwater Management Regulations.

In addition to a site visit on August 6th, we have reviewed the following new information to prepare this letter report:

- Letter from Eliza Cox, Esq. of Nutter McClennan & Fish, LLP to Evan Lehrer, Town Planner, Re: South Cape Village, Mashpee, Modification of a Special Permit Decision dated May 21, 2001 (as modified), dated July 18, 2021, with Application for Special Permit Modification.
- Site Development Plans entitled “Proposed Building G at South Cape Village Shopping Center,” prepared by Baxter Nye Engineering & Surveying, 9 Sheets, dated July 10, 2021.
- Stormwater Management Report for “South Cape Village Building G” prepared for DPF Mashpee LLC, prepared by Baxter Nye Engineering & Surveying, dated July 10, 2021.
- Architectural Plans, prepared for DPF Mashpee LLC, prepared by Phase Zero Design, 2 sheets, dated July 20, 2021.

This project calls for the construction of the proposed “Building G,” at South Cape Village. The proposed building is 4,860 square feet (SF), and is planned to house a new Sherwin Williams retail paint store, and another future retail tenant. This site is located in the Commercial-1 (C-1) Zoning District. The project site is entirely upland area, and is not located within the 100-yr. floodplain. The proposed building will be serviced by the municipal water system and a privately operated wastewater collection system and treatment facility.

The following are our review comments:

Site Plan, Layout & Architectural

We have the following site plan, layout and architectural comments:

1. From review of the application documentation, Building G was originally designed/approved as a 10,000 square foot (SF). It is understood that the current proposal represents a reduction of 5,140 SF for the proposed building. Based on the previous plans and approvals, we assume for the purposes of this project that the wastewater treatment system is properly sized to handle the additional flow from this reduced size building.
2. In reviewing the architectural floor plan and elevation drawings, the color selections seem to be in keeping with a typical Cape Cod architectural design and color schemes, which should complement the other existing buildings of South Cape Village. However, we defer to the Board regarding the final selected building, roof, awning, and brick wall colors and finishes.
3. The cover letter accompanying the Application for Special Permit Modification explains that the previous May 2001 Planning Board Decision allowed for "alternate setbacks, and that the applicant "... *DPF also seeks to confirm the proposed setbacks at approximately 4.2 feet from Charles Street as consistent with the Decision.*"

In reviewing the referenced Decision (recorded in Book 16641, Page 122), on page 2 under Section IV. Decision, Waivers and Findings, the Decision states; "...*pursuant to the provisions of §174-45.1.1. of the Zoning Bylaw, the Board approves a revised schedule of dimensional controls to allow that building setbacks from Commercial Street, South Street and Shellback Way shall be reduced to 10 feet...*" We could not find any other reference to specific building setbacks. We recommend that the applicant review the need and justification for the proposed 4.2 ft. setback with the Board.

4. The proposed site layout involves the placement of new parking spaces in the general vicinity of the existing parking spaces adjacent to the grassed area abutting Charles Street. However, we have the following comments:
 - a. An existing Handicapped Parking (HP) space located in the southeast corner, (closest to building D) is to be removed. Is the loss of this parking space and the HP/ADA access going to impact Building D?
 - b. There are 12 existing parking spaces at the southern end of the parking lot. The proposed layout will reduce this to 10 parking spaces. The Zoning Table on Sheet C3.0 lists a requirement of 16 spaces, and the "Provided/Proposed Per Special Permit." Without having an analysis of the existing and required parking spaces under current zoning (or by Special Permit) for all the facilities served by this parking area, it is not possible to determine the compliance or adequacy of the proposed parking.
5. We recommend that a Note be added to the plans (or Condition be provided in the final Decision) regarding exterior site lighting; "All exterior site lighting shall be fitted to have proper guards/shielding with a 90-degree vertical cutoff in order to be "Dark Sky" compliant."

6. The final revised plans submitted to the Board should have the stamps & signatures of the record project engineer & land surveyor (as appropriate) on all sheets.

Stormwater Management

This project proposes to mitigate post-development runoff via the use of the existing stormwater management systems (SMS). Part of the proposed roof runoff, and east side area will be piped to the existing SMS #9 consisting of a deep sump catch basin (with outlet hood), piped to subsurface storage and infiltration chambers with crushed stone. The remaining roof area (west side) will be piped to an infiltration system consisting of 2 six ft. diameter leaching pits with crushed stone. The runoff from the new parking spaces will be directed to the existing catch basins on the west side of the parking lot, which are piped to the existing Bio-Swale #1, and ultimately to SMS #6 (subsurface infiltration). These stormwater management systems are designed for the 100-yr. storm event.

We have the following stormwater management comments:

1. From our review of the Stormwater Management Report, we find that all the stormwater management systems are properly sized for the proposed project, and acknowledge the following:
 - a. There is no net increase in impervious area contributing to SMS #6.
 - b. There is a smaller impervious area contributing to SMS #9.
2. For better clarity during construction, we recommend that the Grading & Drainage Plan show the proposed roof drain invert elevations for the east side connection to the existing stormwater piping, and the rims & invert elevations of the proposed leaching pits on the west side of the building.

Thank you for this opportunity to assist the Planning Board in their review of this project, and please call or e-mail me if you have any questions or comments.

Sincerely,

PESCE ENGINEERING & ASSOCIATES, INC.



Edward L. Pesce., P.E., LEED® AP
Principal

cc: Matt Eddy, PE, Baxter Nye Engineering & Surveying
Attorney Eliza Cox, Nutter McClennan & Fish



Town of Mashpee

Planning Board
16 Great Neck Road North
Mashpee, Massachusetts 02649

August 9, 2021

Property Owner:

DPF Mashpee LLC.

Applicant:

DPF Mashpee, LLC

Subject Property:

11 Commercial Street (Map 81, Lots 4, 16 and 25)
Between Route 28, Donnas Lane and Great Neck Road South
Mashpee, MA 02649

Dear Property Owner:

As the owner of record of property located within 300' from the subject property above, you are being notified that the Mashpee Planning Board is opening a public hearing on Wednesday, **September 1, 2021 at 7:10 PM in the Waquoit Meeting Room, Mashpee Town Hall, 1st Floor, 16 Great Neck Road North, Mashpee, MA 02649 regarding the following special permit application:**

DPF Mashpee LLC has submitted an application to modify an approved special permit to construct a commercial building (identified as Building G in the approved Special Permit plans) to be used for retail sales in the development identified as South Cape Village Shopping Center located between Route 28, Donna's Lane, and Great Neck Road South. The Planning Board approved the South Cape Village Shopping Center as a 160,000 square foot Commercial Center on May 2, 2001 and the special permit decision has been modified from time to time over the past 20 years and has included and shown the future location of "Building G" that is being contemplated in this request for a special permit modification. The proposed retail building would total 4,860 s.f. bringing the total commercial square footage of South Cape Village to 151,860 s.f.

The application and plans are on file in office of the Town Planner. If you have any questions regarding this project in the interim please feel free to contact me directly at the contact information provided below.

Sincerely,

A handwritten signature in black ink, appearing to read "E. Lehrer".

Evan R. Lehrer, Town Planner

elehrer@mashpeema.gov

508-539-1400 x8521

Planning Board
Form N

Notice of Filing
of Application with the Mashpee Planning Board

To the Mashpee Town Clerk:

This is to notify you that on September 1, _____, 20 21 an application for

endorsement of a plan believed not to require approval
 approval of preliminary plan
 approval of definitive plan

was submitted to the Mashpee Planning Board at its public meeting by

Fain Gildea _____, 510 B, Wianno Avenue, Osterville, MA 02655 _____.
Applicant name Applicant address

The land to which the application relates appears on the current Mashpee Assessors Maps as
89 - 77 (#22) and 89-75 (#260)

and is generally described as located

#22 and #26 Oyster Way, Mashpee, MA. #22 consists of 31,600 +/- sq. ft. and #26 consists of 32,706 +/- sq. ft. Zone R-3. Purpose of ANR is to show 150' of frontage on River Road, Mashpee.

This notice must be submitted to the Town Clerk by delivery or by registered or certified mail, postage prepaid, along with a copy of the application and submitted plans.

Received by Planning Board on _____, 20 21.

for Mashpee Planning Board



FORM A

APPLICATION FOR ENDORSEMENT OF PLAN BELIEVED NOT TO REQUIRE APPROVAL

Date: September 1, 2021

To the Planning Board: The undersigned, believing that the accompanying plan of his or her property in the Town of Mashpee does not constitute a subdivision within the meaning of the Subdivision Control law, herewith submits said plan for a determination and endorsement that Planning board approval under the Subdivision Control Law is not required.

Name of Applicant Fain Gildea Phone 508-477-7272

Address 510 B Wianno Avenue, Osterville, MA 02655

Owner, if different SAME AS ABOVE Phone 508-477-7272

Address _____

Attach copies of (a) most recent recorded deed and (b) tax bill or Assessor's certification. certification

Engineer or Surveyor Cape & Islands Engineering Inc. Phone 508-477-7272

Address 800 Falmouth Road, Suite 301 C, Mashpee, MA 02649

Deed of property recorded in Barnstable County Registry Book _____ Page _____

Land Court Certificate of Title No. 224479

Location and description of property 22 and 26 Oyster Way, Mashpee, MA. #22 consists of 31,600 +/- sq. ft. and #26 consists of 32,706 +/- sq. ft. Zone R-3. Purpose of ANR is to show 150' of frontage on River Road, Mashpee.

Mashpee Assess map(s) and Block(s) 89 - 77 (#22) and 89 - 75 (#26)

Signature of Owner or Authorized Representative _____

Cape & Islands Engineering, Inc.

Attach written authorization signed by owner.

FAIN P GILDEA
7505 W YALE AVE APT 4601
DENVER CO 80221
5086487709

1093

15-7444/2540

August 30 2021
Date

Pay to the
Order of

Town of Mashpee \$ 100
One Hundred dollars Dollars

Photo
Safe
Deposit®
Details on back



Interior Federal Credit Union
Washington, D.C. 20240

Member Since 1964

For

Fain Gilda

⑆ 254074442⑆ 10900522580013⑆ 1093

September 1, 2021

Mr. Evan Lehrer, Town Planner
Town of Mashpee Planning
16 Great Neck Road North
Mashpee, MA 02649

**RE: Application for Approval Not Required for 22 and 26 Oyster Way,
Mashpee, MA**

Dear Mr. Lehrer:

This letter is in regard the above referenced application.

Please accept this letter as my written authorization to allow Matthew C. Costa, P.L.S., R.S., President, Cape and Islands Engineering, Inc. and/or his Associates to represent this Approval Not Required Application on my behalf.

If you have any questions, please feel free to contact me at 508-648-7709.

Sincerely,



Fain Gildea
510 B Wianno Avenue
Osterville, MA 02655
508-548-7709

Cc: Cape & Islands Engineering, Inc.

We, Sean P. Gildea and Philomena M. Gildea, of 20 Church Street, Weston, MA 02493,
in consideration of love and affection grant to Fain Gildea, of 510B Wianno Ave,
Osterville, MA 02655,

WITH QUITCLAIM COVENANTS,

PARCEL ONE:

That certain parcel of land located in the Town of Mashpee, Barnstable County, shown as
"Lot 58" on Land Court subdivision plan 32194C (Sheet 4 of 4) dated May 16, 1973,
drawn by George E. Hayes, Surveyor, Hayes Engineering Inc., filed with the Barnstable
County Registry District of the Land Court on Certificate of Title No. 60293.

Said land is conveyed subject to and with the benefit of a Fifty (50') for Wide Easement
shown on the aforesaid Land Court subdivision plan.

Said land is conveyed subject to and with the benefit of the restrictions, reservations,
easements, rights, rights of way, and covenants of record, insofar as the same may be in
effect and applicable.

Said parcel being shown on the Town of Mashpee Assessor's Map 89 as Parcel 75 Lot 0
and having a street address of 26 Oyster (formerly East) Way, Mashpee, MA.

PARCEL TWO:

That certain parcel of land located in the Town of Mashpee, Barnstable County, shown as
"Lot 60" on Land Court subdivision plan 32194C (Sheet 4 of 4) dated May 16, 1973,
drawn by George E. Hayes, Surveyor, Hayes Engineering Inc., filed with the Barnstable
County Registry District of the Land Court on Certificate of Title No. 60293.

Said land is conveyed subject to and with the benefit of a Fifty (50') for Wide Easement
shown on the aforesaid Land Court subdivision plan.

Said land is conveyed subject to and with the benefit of the restrictions, reservations,
easements, rights, rights of way, and covenants of record, insofar as the same may be in
effect and applicable.


Said parcel being shown on the Town of Mashpee Assessor's Map 89 as Parcel 77 Lot 0 and having a street address of 22 Oyster (formerly East) Way, Mashpee, MA.

For title, see deed recorded with the Barnstable County Registry District of the Land Court as Document No. 820643-1 on Certificate of Title No. 132984,

See Cert of Title No. 160205.

WITNESS our hand and seal this 10th day of November 2020.


Sean P. Gildea

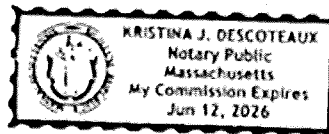

Philomena M. Gildea

State of Massachusetts
Suffolk County, ss

November 10, 2020

On this 10th day of November 20, 20, before me, the undersigned notary public, personally appeared Sean P. Gildea and Philomena M. Gildea and proved to me through satisfactory evidence of identification, which were drivers license, to be the persons whose names are signed on the preceding document, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of (his)(her) knowledge and belief.


Notary Public



BARNSTABLE REGISTRY OF DEEDS
John F. Meade, Register

**Town of Mashpee
Planning Board**

I hereby attest that Fain Gildea

OWNER OF RECORD

Assess Map 89 Parcel 77 and Map 89 Parcel 75, 22 & 26 Oyster Way,
Mashpee, MA 02649

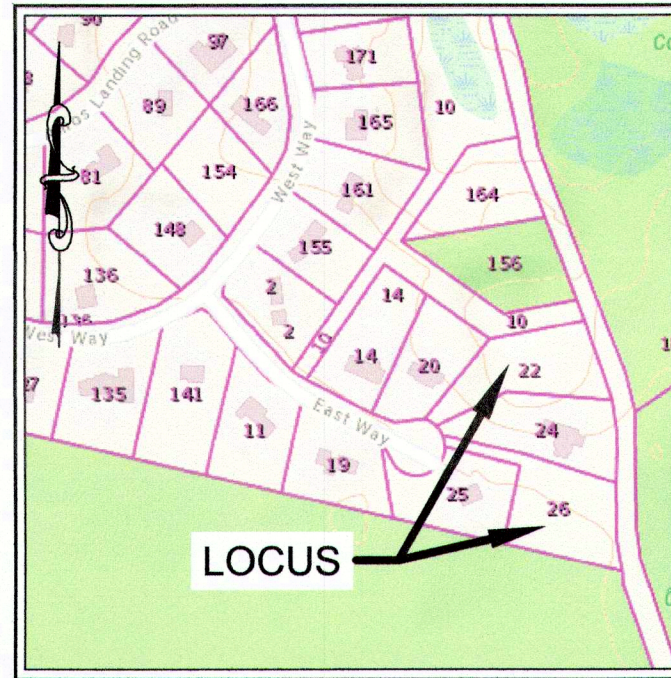
ADDRESS

Is (are) the owner(s) of the above-referenced property.

I hereby further attest that the owner of the above-cited property is not, to the best of my knowledge, in arrears of payment of any local taxes as may be applicable under Section 1 of Chapter 112 of the Mashpee Code.


Treasurer/Collector

9-3-21
Date



LOCUS MAP NOT TO SCALE



PLANNING BOARD APPROVAL UNDER THE
SUBDIVISION CONTROL LAW NOT REQUIRED

DATE APPROVED _____ DATE SIGNED _____

MASHPEE PLANNING BOARD

NO DETERMINATION AS TO COMPLIANCE WITH ZONING
REQUIREMENTS HAS BEEN MADE OR INTENDED BY THIS
ENDORSEMENT UNDER MGL CHAPTER 41, SECTION 81L.

FOR REGISTRY USE ONLY

I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE
REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY
OF DEEDS.

[Signature]
MATTHEW C. COSTA P.L.S. DATE 9-8-21

I CERTIFY THAT THIS PLAN AND SURVEY CONFORMS TO THE
ETHICAL, PROCEDURAL AND TECHNICAL STANDARDS FOR THE
PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF
MASSACHUSETTS.



[Signature]
MATTHEW C. COSTA P.L.S. DATE 9-8-21

GENERAL NOTES

ZONING DISTRICT: R-3

PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE
DESIGNATION OF MINIMAL HAZARD X BY THE FEDERAL
EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD
INSURANCE RATE MAP NO. 25001C0751J, WITH A MAP EFFECTIVE
DATE OF JULY 16, 2014.

THIS LOT IS NOT LOCATED WITHIN A DEP APPROVED ZONE II
WELLHEAD PROTECTION AREA.

THIS LOT IS NOT MAPPED WITHIN A MESA NATURAL HERITAGE
AND ENDANGERED SPECIES AREA.

DEED REFERENCE: CERTIFICATE 224479

PLAN REFERENCE: LC PLAN 32194-C (SH 4)
PLAN BOOK 423 PG. 85

OWNER: FAIN GILDEA
510 B WIANNO AVENUE
OSTERVILLE, MA 02655

NOTICE
THIS PLAN MAY NOT BE ADDED TO, DELETED FROM, OR ALTERED IN ANY WAY BY ANYONE OTHER THAN CAPE &
ISLANDS ENGINEERING, INC.
UNLESS AND UNTIL SUCH TIME AS AN ORIGINAL (RED) STAMP APPEARS ON THIS PLAN NO PERSON OR
PERSONS, MUNICIPAL OR PUBLIC OFFICIAL, MAY RELY UPON THE INFORMATION CONTAINED HEREIN, AND THIS
PLAN REMAINS THE PROPERTY OF CAPE AND ISLANDS ENGINEERING, INC.
COPYRIGHT (C) BY CAPE & ISLANDS ENGINEERING, INC. ALL RIGHTS RESERVED

DATE	DESCRIPTION	BY	CHK

PREPARED FOR:
FAIN GILDEA
510 B WIANNO AVENUE
OSTERVILLE, MA 02655

PROJECT:
22 & 26 OYSTER WAY
MASHPEE, MASSACHUSETTS

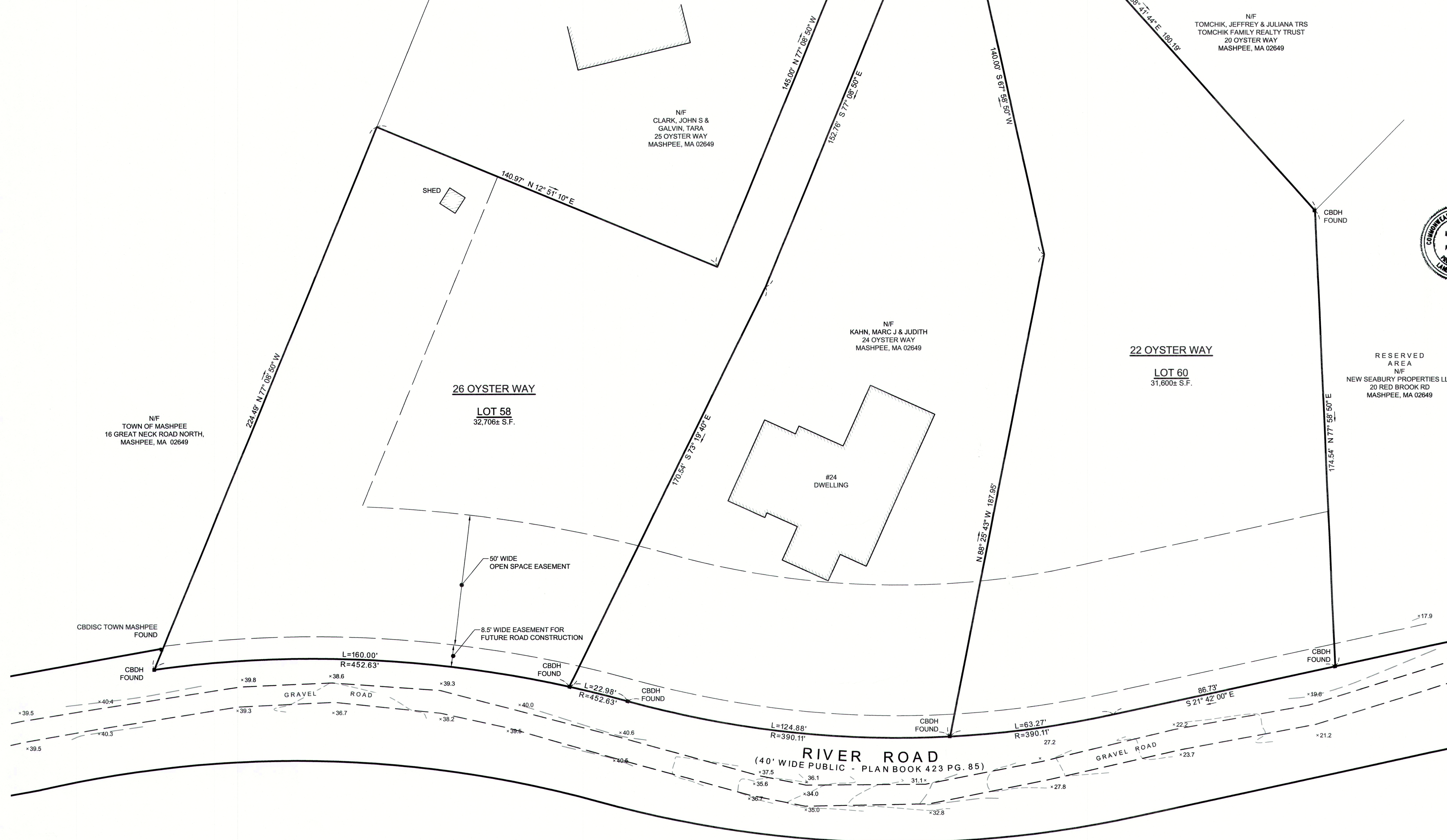
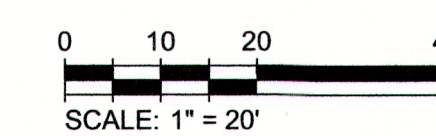
SHEET NO.: 1 OF 1 DATE: AUGUST 30, 2021
DRAWN BY: JVB CHECKED BY: MC

PREPARED BY:
CAPE & ISLANDS ENGINEERING

SUMMERFIELD PARK
800 FALMOUTH ROAD SUITE 301C 508.477.7272 PHONE
MASHPEE, MA 02649 508.477.9072 FAX www.CapeEng.com

DRAWING TITLE:
PLAN OF LAND

ASSESSORS INFORMATION: MAP 89 PARCELS 75 & 77



- LEGEND**
- CBDH ----- CONCRETE BOUND DRILL HOLE
 - SB ----- STONE BOUND
 - ⊙ RC ----- ROD CAP
 - IP ----- IRON PIPE FOUND



SEP 03 2021

TOWN OF FALMOUTH
MASSACHUSETTS

BOARD OF APPEALS

Notice of Decision

Notice is hereby given that the Board of Appeals of the Town of Falmouth has made a decision on a petition by **Michael H. and Allison R. North**, 15 Sunset Point Road, North Falmouth, Ma. (Map 04 Lot 020) **under** 240-3 C. of the Zoning By-Law, as amended to **grant** the special permit to remove the deck, remodel a portion of the garage and add a second floor above the garage.

Appeals, if any, shall be made pursuant to the Massachusetts General Laws, Chapter 40A, Section 17, and shall be filed within twenty (20) days after **August 30, 2021** which is the date the Decision was filed in the office of the Town Clerk.

Please contact Noreen Stockman at 508-495-7460
or Noreen.stockman@falmouthma.gov if you have any questions or comments
full text of decision available at <http://www.falmouthmass.us>



SEP 03 2021

TOWN OF FALMOUTH
MASSACHUSETTS

BOARD OF APPEALS

Notice of Decision

Notice is hereby given that the Board of Appeals of the Town of Falmouth has made a decision on a petition by Abbies Realty LLC, 13 Abbies Lane, North Falmouth, Ma.

(Map 02A Lot 053) **under** 240-3 C. and 240-69 E. of the Zoning By-Law, as amended to **grant** the special permit to raze and rebuild the nonconforming dwelling.

Appeals, if any, shall be made pursuant to the Massachusetts General Laws, Chapter 40A, Section 17, and shall be filed within twenty (20) days after **August 30, 2021** which is the date the Decision was filed in the office of the Town Clerk.

Please contact Noreen Stockman at 508-495-7460
or Noreen.stockman@falmouthma.gov if you have any questions or comments
full text of decision available at <http://www.falmouthmass.us>



AUG 27 2021

TOWN OF FALMOUTH
MASSACHUSETTS

BOARD OF APPEALS

Notice of Decision

Notice is hereby given that the Board of Appeals of the Town of Falmouth has made a decision on a petition by Steven J. Mallett, 83 Chestnut Street, Teaticket, Ma.

(Map 39A Lot 088) **under** 240-3 C. and 240-69 E. of the Zoning By-Law, as amended to **grant** the special permit to add a second story addition and a sunroom.

Appeals, if any, shall be made pursuant to the Massachusetts General Laws, Chapter 40A, Section 17, and shall be filed within twenty (20) days after **August 23, 2021** which is the date the Decision was filed in the office of the Town Clerk.

Please contact Noreen Stockman at 508-495-7460
or Noreen.stockman@falmouthma.gov if you have any questions or comments
full text of decision available at <http://www.falmouthmass.us>

AUG 26 2021



TOWN OF FALMOUTH
MASSACHUSETTS

BOARD OF APPEALS

Notice of Decision

Notice is hereby given that the Board of Appeals of the Town of Falmouth has made a decision on a petition by **Edmond and Salpi Der Stepanian**, 29 Nauset Avenue East, North Falmouth, Ma.

(Map 13 Lot 237) **under 240-3 C.** of the Zoning By-Law, as amended to **grant** the special permit to construct additions and a second floor to the existing dwelling.

Appeals, if any, shall be made pursuant to the Massachusetts General Laws, Chapter 40A, Section 17, and shall be filed within twenty (20) days after **August 19, 2021** which is the date the Decision was filed in the office of the Town Clerk.

Please contact Noreen Stockman at 508-495-7460
or Noreen.stockman@falmouthma.gov if you have any questions or comments
full text of decision available at <http://www.falmouthmass.us>

AUG 26 2021



TOWN OF FALMOUTH
MASSACHUSETTS

BOARD OF APPEALS

Notice of Decision

Notice is hereby given that the Board of Appeals of the Town of Falmouth has made a decision on a petition by Steven J. and Lorraine Barilaro, 36 C Alder Lane, North Falmouth, Ma.

(Map 13 Lot 000A) **under 240-3 C.** of the Zoning By-Law, as amended to **grant** the special permit to construct an addition, front porch and detached garage.

Appeals, if any, shall be made pursuant to the Massachusetts General Laws, Chapter 40A, Section 17, and shall be filed within twenty (20) days after **August 19,2021** which is the date the Decision was filed in the office of the Town Clerk.

Please contact Noreen Stockman at 508-495-7460
or Noreen.stockman@falmouthma.gov if you have any questions or comments
full text of decision available at <http://www.falmouthmass.us>



AUG 26 2021

**TOWN OF FALMOUTH
MASSACHUSETTS**

BOARD OF APPEALS

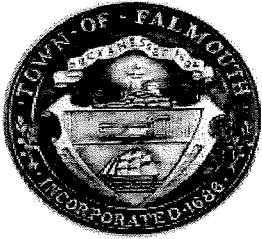
Notice of Decision

Notice is hereby given that the Board of Appeals of the Town of Falmouth has made a decision on a petition by William C. Shouldice IV and Susan A. Shouldice, 53 Silver Beach Avenue, North Falmouth, Ma.

(Map 04A Lot 347) **under** 240-3 C. and 240-69 E. of the Zoning By-Law, as amended to **grant** the special permit to construct an addition to the second floor and front porch addition.

Appeals, if any, shall be made pursuant to the Massachusetts General Laws, Chapter 40A, Section 17, and shall be filed within twenty (20) days after **August 20, 2021** which is the date the Decision was filed in the office of the Town Clerk.

Please contact Noreen Stockman at 508-495-7460
or Noreen.stockman@falmouthma.gov if you have any questions or comments
full text of decision available at <http://www.falmouthmass.us>



TOWN OF FALMOUTH

ZONING BOARD OF APPEALS

SEP 08 2021

59 TOWN HALL SQUARE, FALMOUTH, MA 02540
508-495-7460 – FAX 508-495-7463

BOARD OF APPEALS

NOTICE OF PUBLIC HEARING

Being all persons deemed affected by the Board of Appeals under Section 11 of Chapter 40A of the Massachusetts General Laws you are hereby notified that:

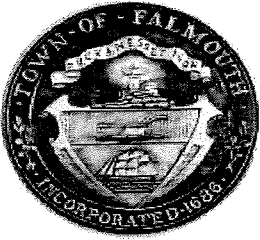
Application #064-21 Sypek Investments LLC, 405 Chauncey Avenue N.W., New Philadelphia, OH.: Applied to the Zoning Board of Appeals for a special permit pursuant to section(s) 240-3 C. and 240-69 E. of the Code of Falmouth to construct an addition to the non-conforming single family dwelling; increasing lot coverage by structures on subject property known as 16 Worcester Avenue, Falmouth, Ma.

Map 46B Section 24 Parcel 09 Lot(s) 001

A public hearing will be given on this application, in the Selectmen's Meeting Room, Town Hall, on **Thursday, September 23, 2021 at 6:30PM**
You are invited to be present.

By Order of the Board of Appeals,
Chairman, Terrence Hurrie

Plans are available for review prior to the hearing at the Board of Appeals office, Town Hall during the hours of 8:00 AM to 4:00 PM. *Plans are available to review at <http://www.falmouthmass.us/1113/Applications-under-review-by-the-ZBA>*



TOWN OF FALMOUTH

ZONING BOARD OF APPEALS

59 TOWN HALL SQUARE, FALMOUTH, MA 02540
508-495-7460 – FAX 508-495-7463

SEP 08 2021

BOARD OF APPEALS NOTICE OF PUBLIC HEARING

Being all persons deemed affected by the Board of Appeals under Section 11 of Chapter 40A of the Massachusetts General Laws you are hereby notified that:

Application # 067-21 George E. and Patricia N. Thorogood, 95 Settlers Path, Lancaster, Ma.:

Applied to the Zoning Board of Appeals for a special permit pursuant to section(s) 240-3 C. of the Code of Falmouth to construct an addition to the non-conforming single family dwelling on subject property known as 315 Acapesket Road, East Falmouth, Ma.

Map 40 Section 03 Parcel 028 Lot(s) 302

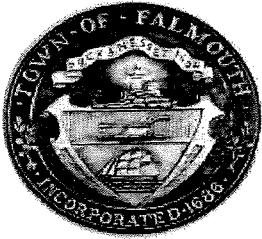
A public hearing will be given on this application, in the Selectmen's Meeting Room, Town Hall, on **Thursday,**

September 23, 2021 at 6:30PM

You are invited to be present.

By Order of the Board of Appeals,
Chairman, Terrence Hurrie

Plans are available for review prior to the hearing at the Board of Appeals office, Town Hall during the hours of 8:00 AM to 4:00 PM. *Plans are available to review at <http://www.falmouthmass.us/1113/Applications-under-review-by-the-ZBA>*



TOWN OF FALMOUTH

ZONING BOARD OF APPEALS

59 TOWN HALL SQUARE, FALMOUTH, MA 02540
508-495-7460 – FAX 508-495-7463

SEP 08 2021

BOARD OF APPEALS

NOTICE OF PUBLIC HEARING

Being all persons deemed affected by the Board of Appeals under Section 11 of Chapter 40A of the Massachusetts General Laws you are hereby notified that:

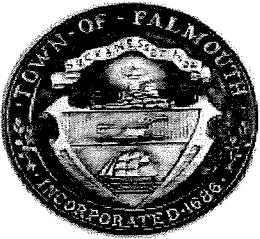
Application #063-21 Jon and Linda Modelevsky, 82 Hudson Street, Falmouth, Ma.: Applied to the Zoning Board of Appeals for a special permit pursuant to section(s) 240-69 E. of the Code of Falmouth to allow a pool, exceeding 20% lot coverage by structures on subject property known as 82 Hudson Street, Falmouth, Ma.

Map 39 Section 19 Parcel 012 Lot(s) 041

A public hearing will be given on this application, in the Selectmen's Meeting Room, Town Hall, on **Thursday, September 23, 2021 at 6:30PM**
You are invited to be present.

By Order of the Board of Appeals,
Chairman, Terrence Hurrie

Plans are available for review prior to the hearing at the Board of Appeals office, Town Hall during the hours of 8:00 AM to 4:00 PM. *Plans are available to review at <http://www.falmouthmass.us/1113/Applications-under-review-by-the-ZBA>*



TOWN OF FALMOUTH

ZONING BOARD OF APPEALS

59 TOWN HALL SQUARE, FALMOUTH, MA 02540
508-495-7460 – FAX 508-495-7463

SEP 08 2021

BOARD OF APPEALS

NOTICE OF PUBLIC HEARING

Being all persons deemed affected by the Board of Appeals under Section 11 of Chapter 40A of the Massachusetts General Laws you are hereby notified that:

Application # 070-21 Leonard Remia, 11 Avenue A, East Falmouth, Ma.: Applied to the Zoning Board of Appeals for a special permit pursuant to section(s) 240-69 E. of the Code of Falmouth to construct additions and a covered front porch, exceeding 20% lot coverage by structures on subject property known as 11 Avenue A, East Falmouth, Ma.

Map 45 Section 22A Parcel 000 Lot(s) 006

A public hearing will be given on this application, in the Selectmen's Meeting Room, Town Hall, on **Thursday, September 23, 2021 at 6:30PM**
You are invited to be present.

By Order of the Board of Appeals,
Chairman, Terrence Hurrie

Plans are available for review prior to the hearing at the Board of Appeals office, Town Hall during the hours of 8:00 AM to 4:00 PM. *Plans are available to review at <http://www.falmouthmass.us/1113/Applications-under-review-by-the-ZBA>*

Town of Sandwich
THE OLDEST TOWN ON CAPE COD



BOARD of APPEALS
16 Jan Sebastian Drive
Sandwich, MA 02563
Phone: 508 833 8001
Fax: 508 833 8006
E-mail: planning@sandwichmass.org

**TOWN OF SANDWICH
PUBLIC HEARING NOTICE
BOARD OF APPEALS**

SEP 08 2021

The Sandwich Board of Appeals will hold a public hearing on the application of Tsakalos Realty Trust, applicant and property owner, for a Special Permit under Sections 1330 and 2200 of the Sandwich Protective Zoning By-Law for property located at 280 Route 130, Sandwich, MA, Assessor's Map #22, Parcel #188, for the purpose of allowing the continued use of a drive-through facility in connection with the operation of a restaurant. The Public Hearing will be held on September 14, 2021, in the upper meeting room of the Human Services Building, 270 Quaker Meetinghouse Road, East Sandwich, MA at 6:00 p.m. The public record information can be viewed at the Planning & Development office, 16 Jan Sebastian Drive, Sandwich, MA, Monday-Friday 8:30 a.m. to 4:30 p.m.

Erik Van Buskirk, Chair
Sandwich Board of Appeals
Publication: Sandwich Enterprise
Publication Dates: August 27, 2021 and September 3, 2021

DEPARTMENT OF ENVIRONMENTAL PROTECTION
WATERWAYS REGULATION PROGRAM

SEP 07 2021

Notice of License Application Pursuant to M. G. L. Chapter 91
Waterways License Application Number W21-6036
Kathryn A. & Alan L. Clapp

NOTIFICATION DATE: September 10, 2021

Public notice is hereby given of the waterways application by Kathryn A. & Alan L. Clapp to repair and maintain a pier, ramp, and float at 3 Keelan Way in the municipality of Mashpee, in and over flowed tidelands of Popponesset Creek. The proposed project has been determined to be water-dependent.

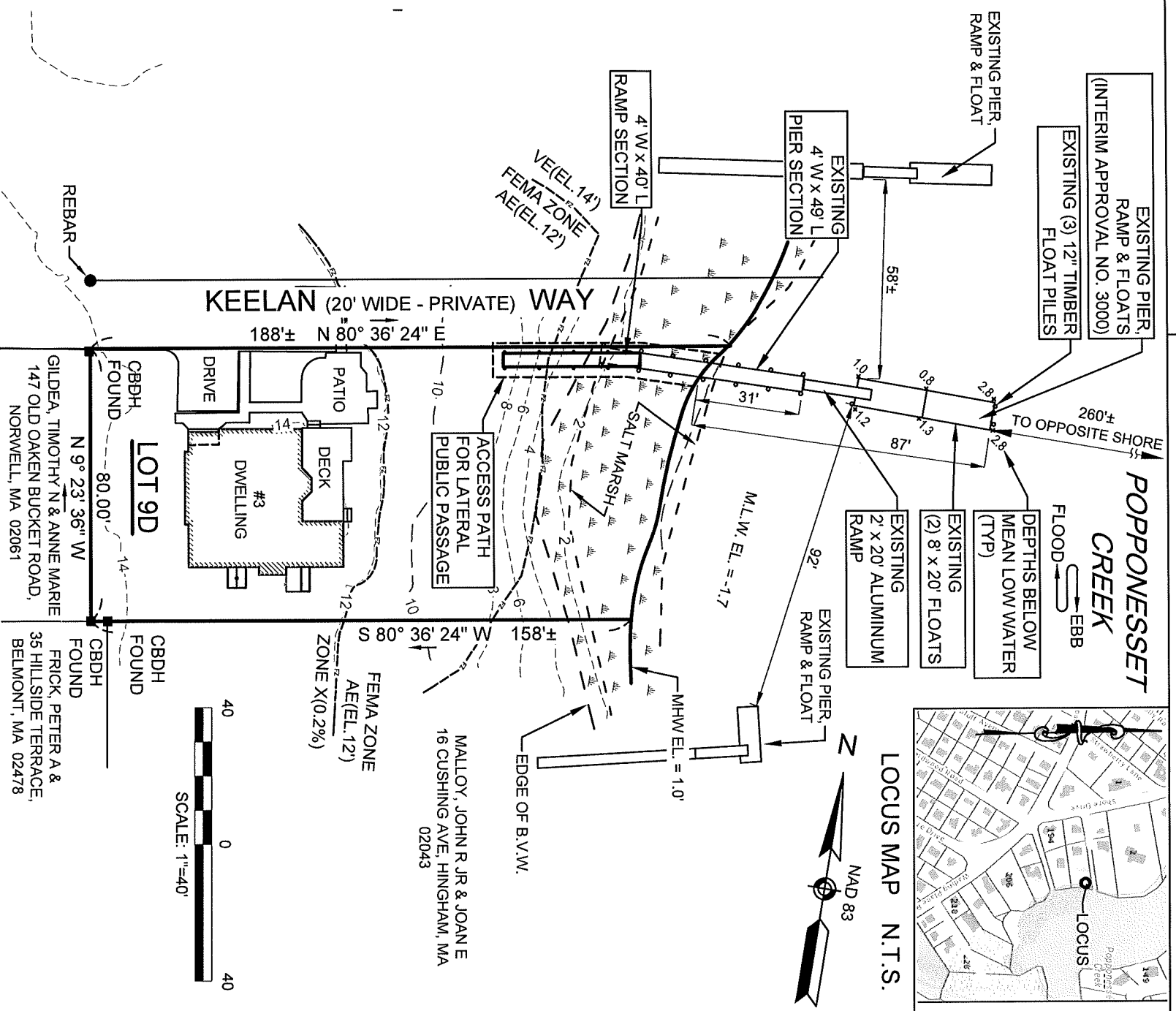
The Department will consider all written comments on this Waterways application received within thirty (30) days subsequent to the "Notification Date". Failure of any aggrieved person or group of ten citizens or more, with at least five of the ten residents residing in the municipality(s) in which the license or permitted activity is located, to submit written comments to the Waterways Regulation Program by the Public Comments Deadline will result in the waiver of any right to an adjudicatory hearing in accordance with 310 CMR 9.13(4)(c).

Additional information regarding this application, including plans and associated documents, may be obtained by contacting the Waterways Regulation Program at (508) 946-2707 or brendan.mullaney@mass.gov.

Written comments must be addressed to: Brendan Mullaney, Environmental Analyst, DEP Waterways Regulation Program, 20 Riverside Drive, Lakeville, MA 02347 or brendan.mullaney@mass.gov.

I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY OF DEEDS.

MATTHEW C. COSTA, P.L.S.



PARCEL ADDRESS: 3 KEELAN WAY, MASHPEE, MA
 PLANS ACCOMPANYING PETITION OF
 KATHRYN A. & ALAN L. CLAPP
 TO MAINTAIN AN EXISTING PIER, RAMP & FLOAT
 IN AND OVER THE WATERS OF
 POPPONESSET CREEK, MASHPEE,
 MASSACHUSETTS

PARCEL ID MAP 112 PARCEL 47 SHEET 1 OF 2

PLAN BY: CAPE & ISLANDS ENGINEERING, INC.
 508.477.7272 DATE: MAY 25, 2021

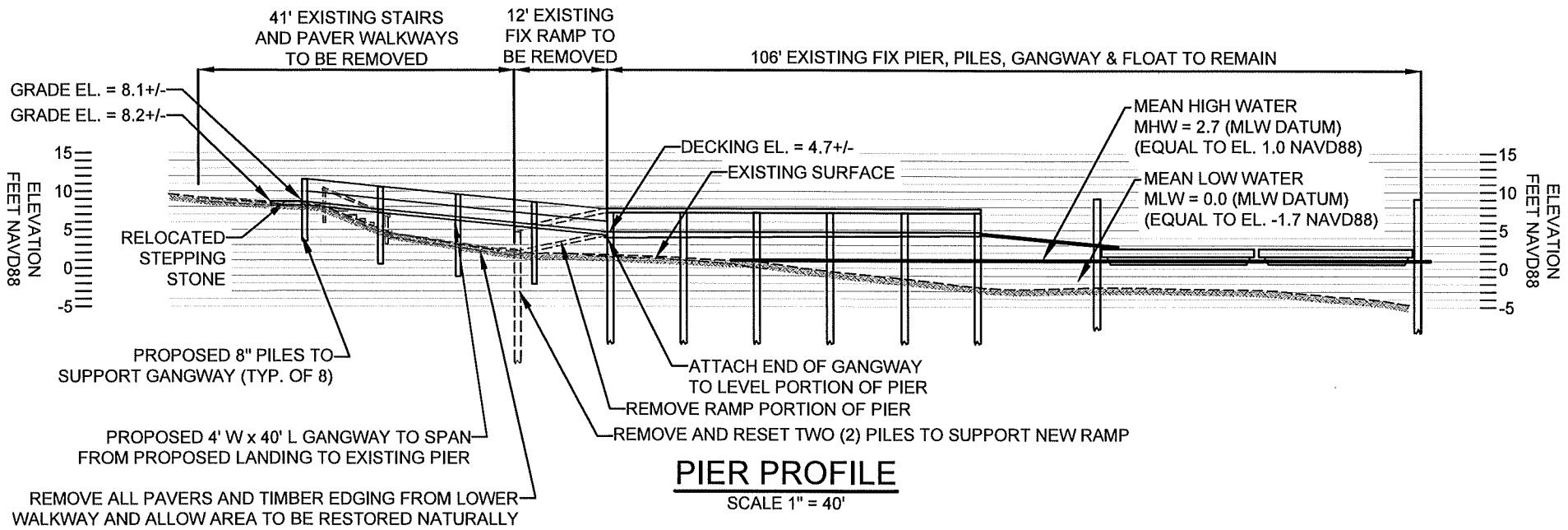
TIDE RANGE: ±2.7
 DATUM: NAVD88 = 0.00 FT.
 ELEVATIONS IN FEET

REBAR
 LOT 9D
 80.00'
 N 9° 23' 36" W
 GILDEA, TIMOTHY N & ANNE MARIE
 147 OLD OAKEN BUCKET ROAD,
 NORWELL, MA 02061
 CBDH FOUND
 CBDH FOUND
 CBDH FOUND
 CBDH FOUND
 FRICK, PETER A &
 35 HILLSIDE TERRACE,
 BELMONT, MA 02478

MALLOY, JOHN R JR & JOAN E
 16 CUSHING AVE, HINGHAM, MA
 02043

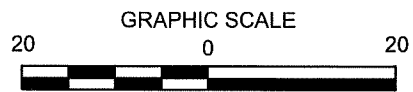
I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY OF DEEDS.

MATTHEW C. COSTA, P.L.S.



PIER PROFILE

SCALE 1" = 40'



PROFILE

PARCEL ADDRESS: 3 KEELAN WAY
 PLAN BY: CAPE & ISLANDS ENGINEERING, INC.
 508.477.7272 DATE: MAY 25, 2021

PARCEL ID MAP 112 PARCEL 47 SHEET 2 OF 2

DATUM: NAVD88 = 0.00 FT.
 ELEVATIONS IN FEET

DEPARTMENT OF ENVIRONMENTAL PROTECTION
WATERWAYS REGULATION PROGRAM

SEP 07 2021

Notice of License Application Pursuant to M. G. L. Chapter 91
Waterways License Application Number W21-6035
Stuart & Christine Nixdorff

NOTIFICATION DATE: September 10, 2021

Public notice is hereby given of the waterways application by Stuart & Christine Nixdorff to construct and maintain a pier, ramp, float, piles, and stairs at 18 Little Neck Lane in the municipality of Mashpee, in and over flowed tidelands of Ockway Bay. The proposed project has been determined to be water-dependent.

The Department will consider all written comments on this Waterways application received within thirty (30) days subsequent to the "Notification Date". Failure of any aggrieved person or group of ten citizens or more, with at least five of the ten residents residing in the municipality(s) in which the license or permitted activity is located, to submit written comments to the Waterways Regulation Program by the Public Comments Deadline will result in the waiver of any right to an adjudicatory hearing in accordance with 310 CMR 9.13(4)(c).

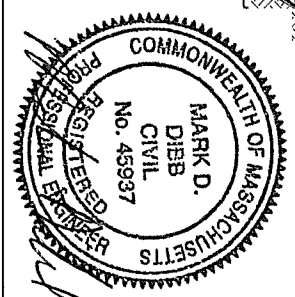
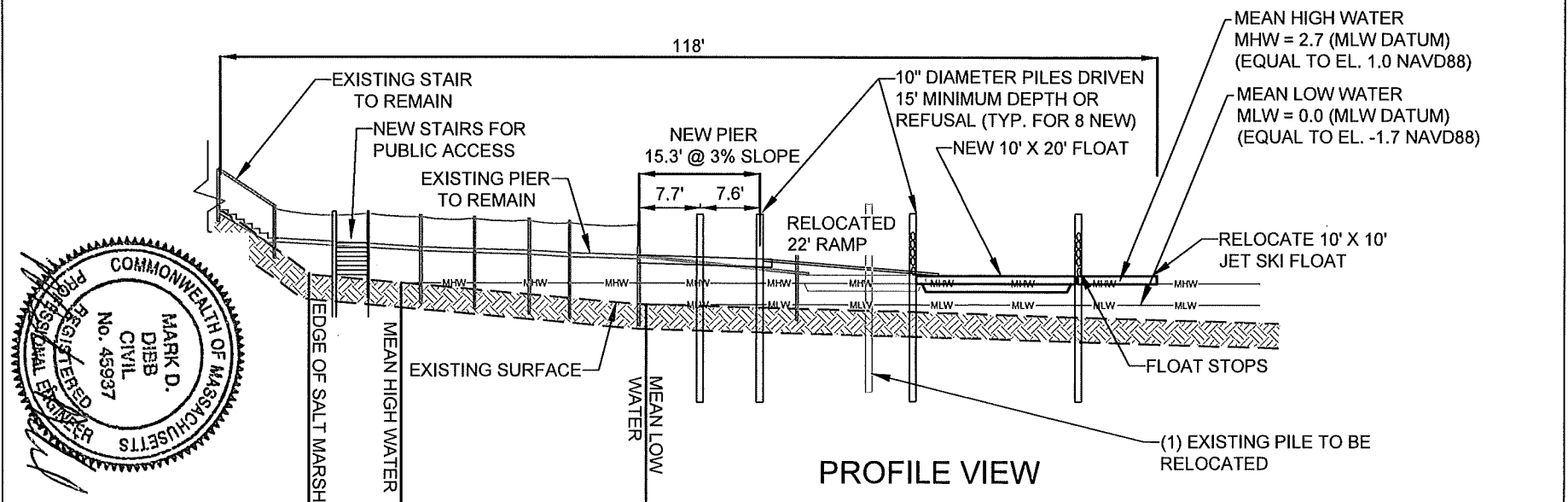
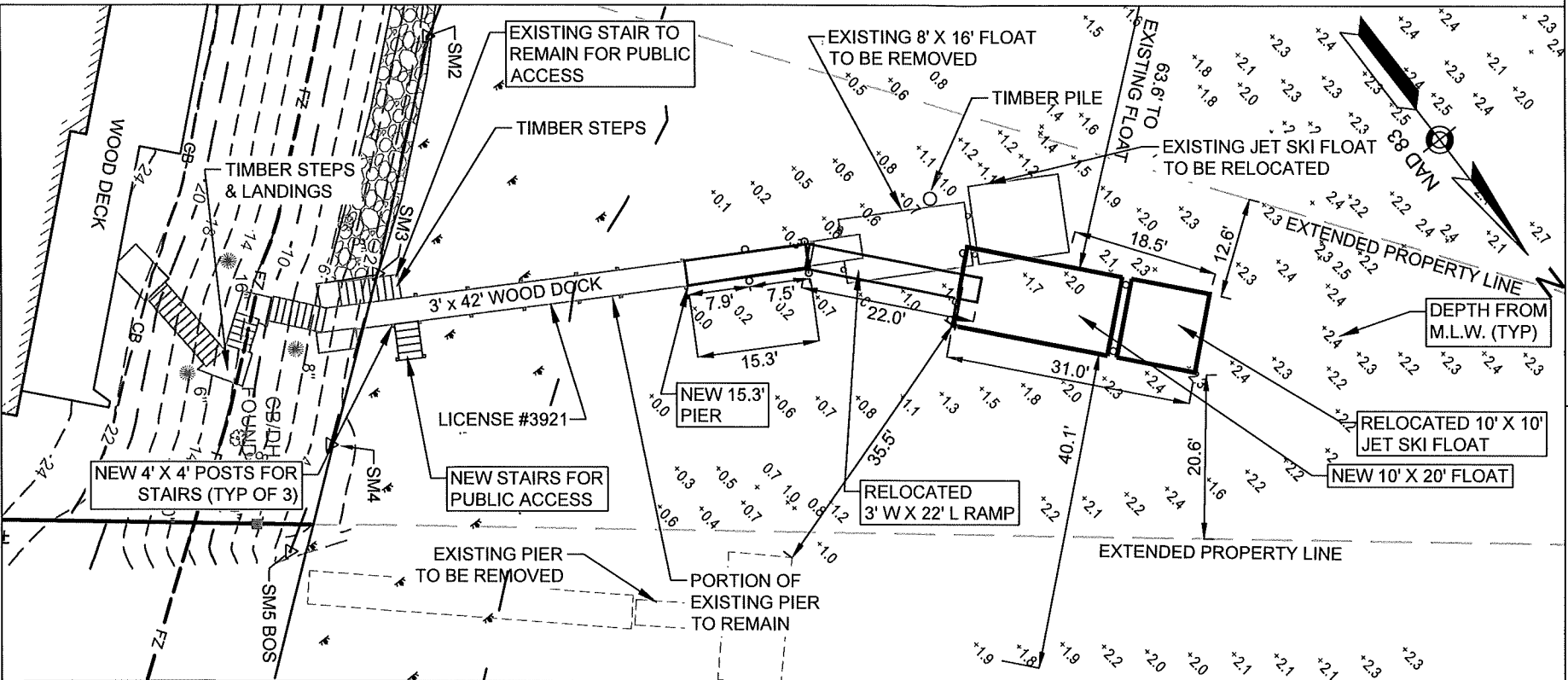
Additional information regarding this application, including plans and associated documents, may be obtained by contacting the Waterways Regulation Program at (508) 946-2707 or brendan.mullaney@mass.gov.

Written comments must be addressed to: Brendan Mullaney, Environmental Analyst, DEP Waterways Regulation Program, 20 Riverside Drive, Lakeville, MA 02347 or brendan.mullaney@mass.gov.

I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY OF DEEDS.

Mark D. Dibb

MARK DIBB, P.E.



PIER PLAN & PROFILE



PARCEL ADDRESS: 18 LITTLE NECK LANE, MASHPEE, MA
 PLAN BY: CAPE & ISLANDS ENGINEERING, INC.
 508.477.7272 DATE: 6/2/2021

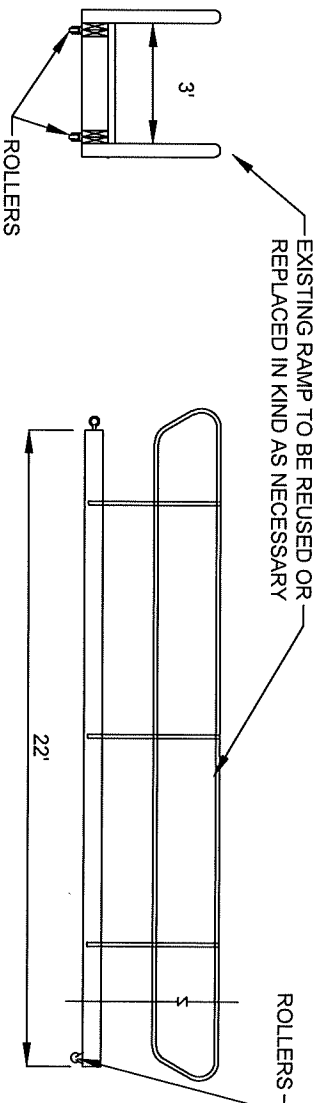
PARCEL ID MAP 105 PARCEL 6 SHEET 2 OF 4

DATUM: NAVD = 0.00 FT.
 ELEVATIONS IN FEET

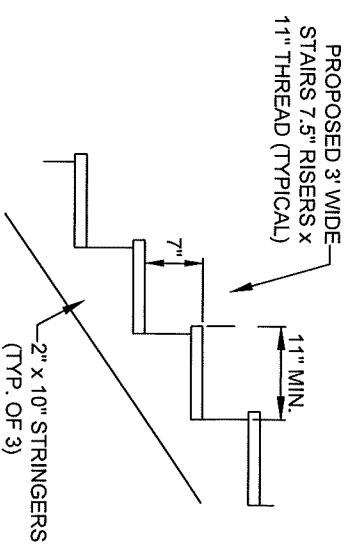
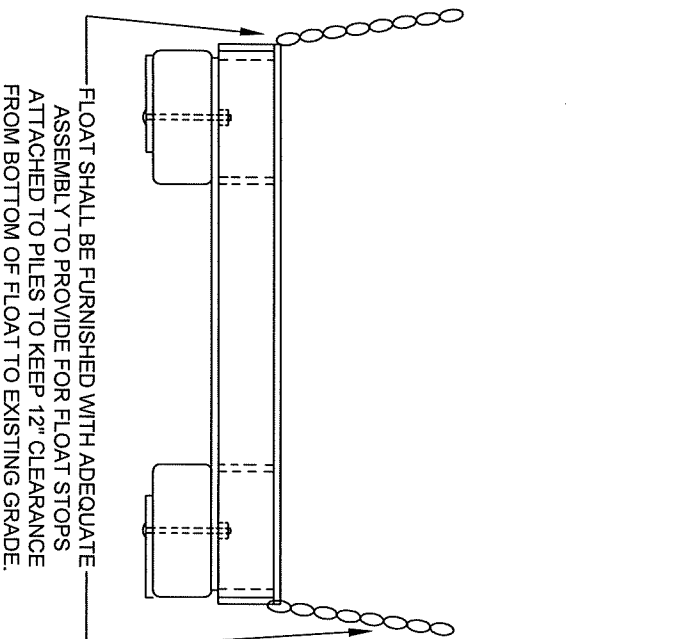
I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY OF DEEDS.



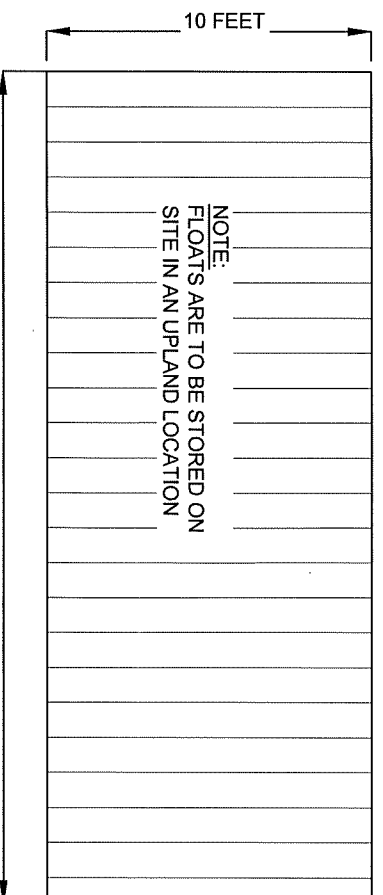
MARK DIBB, P.E.



EXISTING RAMP DETAIL
NOT TO SCALE

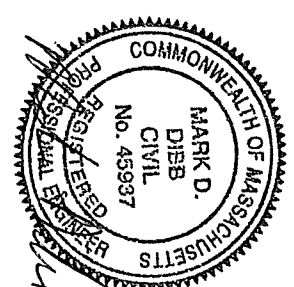


STAIR DETAIL
NOT TO SCALE



NOTE:
FLOATS ARE TO BE STORED ON SITE IN AN UPLAND LOCATION

MAIN FLOAT DETAIL
NOT TO SCALE



FLOAT DETAILS

PARCEL ADDRESS: 18 LITTLE NECK LANE, MASHPEE, MA

PLAN BY: CAPE & ISLANDS ENGINEERING, INC.

508.477.7272 DATE: JUNE 2, 2021

DATUM: NAVD = 0.00 FT.

ELEVATIONS IN FEET

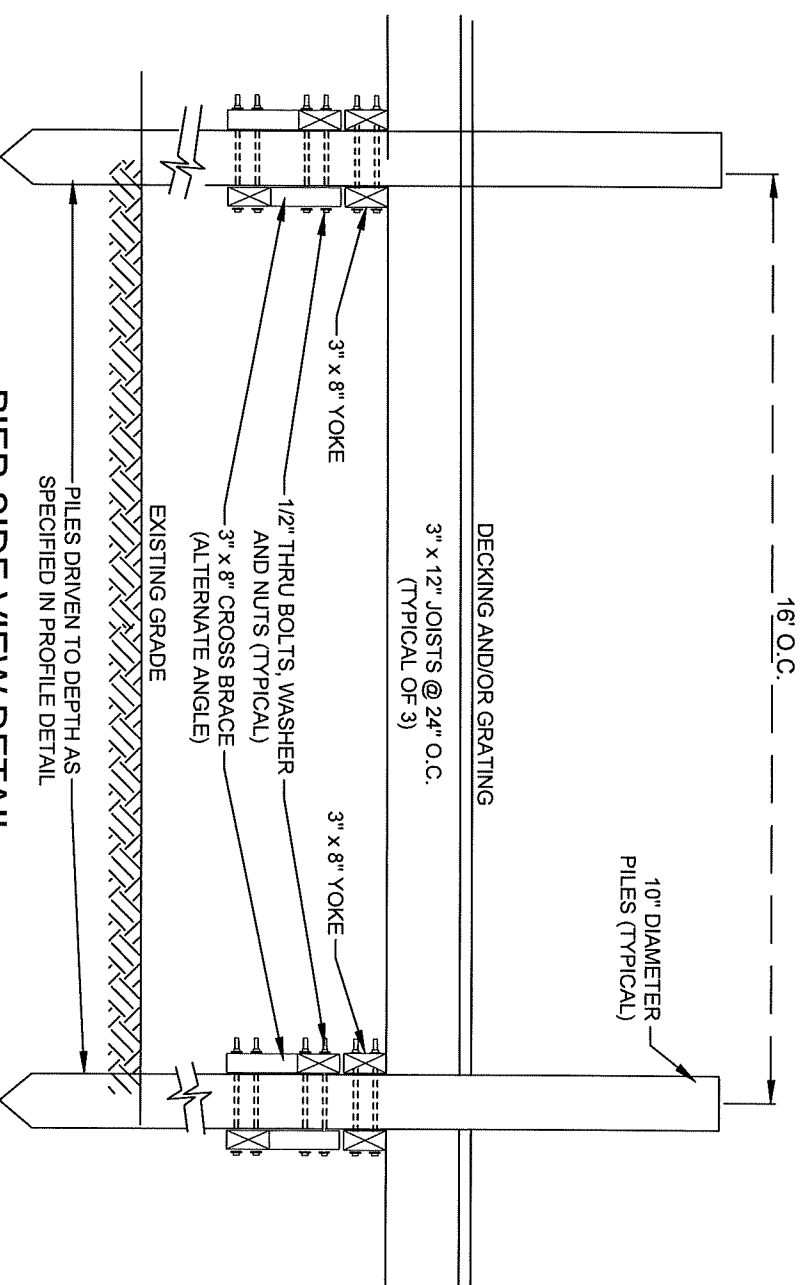
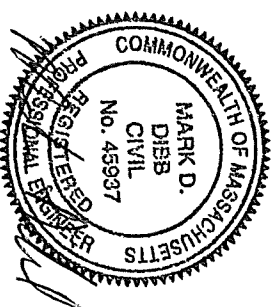
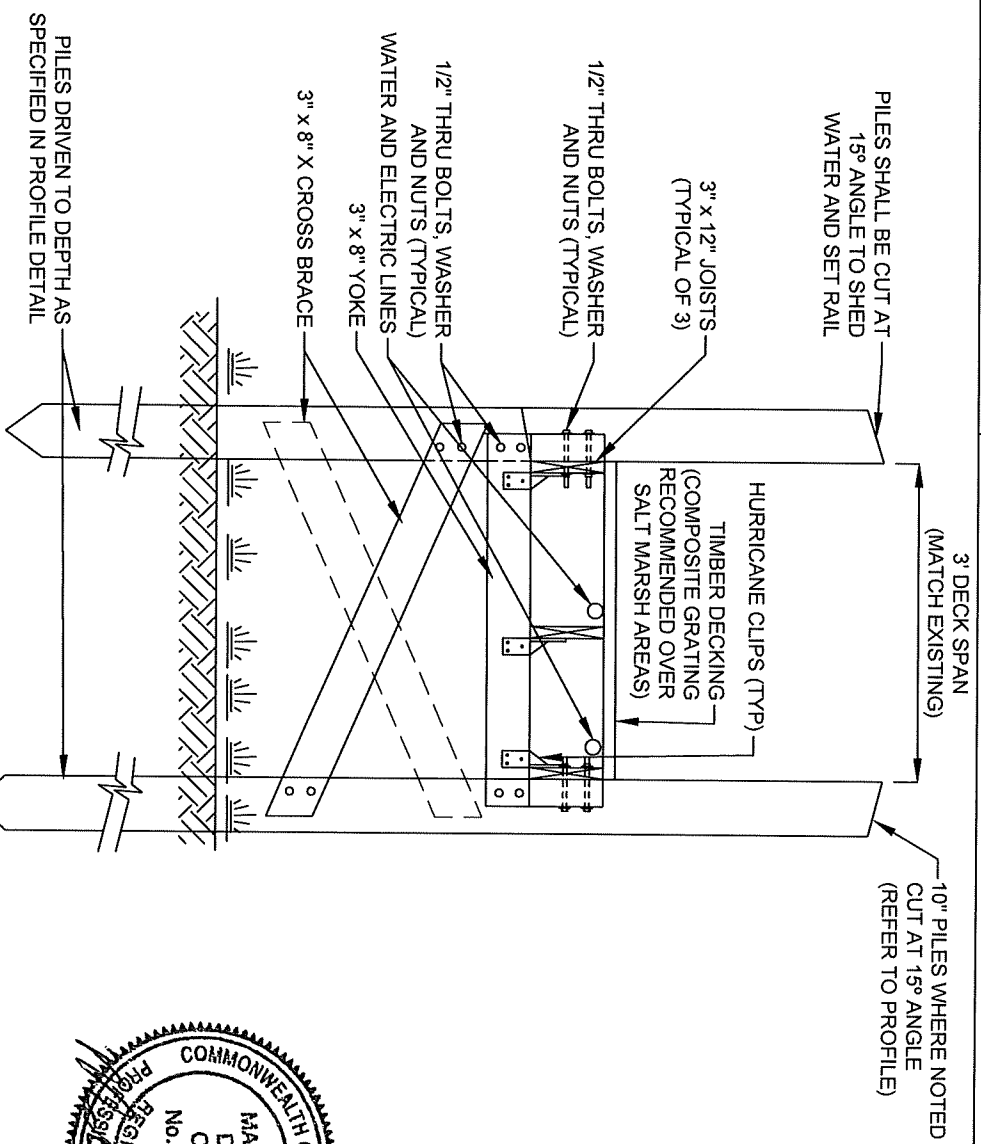
PARCEL ID MAP 105 PARCEL 6

SHEET 3 OF 4

I HEREBY CERTIFY THAT THIS PLAN DOES CONFORM WITH THE REQUIREMENTS FOR RECORDING OF PLANS IN THE REGISTRY OF DEEDS.

Mark D. Dibb

MARK DIBB, P.E.



PARCEL ADDRESS: 18 LITTLE NECK LANE, WASHPEE, MA
 PLAN BY: CAPE & ISLANDS ENGINEERING, INC.
 DATE: JUNE 2, 2021

PARCEL ID MAP 105 PARCEL 6
 DATUM: NAVD= 0.00 FT.
 ELEVATIONS IN FEET
 SHEET 4 OF 4



Massachusetts Department of Environmental Protection

eDEP Transaction Copy

Here is the file you requested for your records.

To retain a copy of this file you must save and/or print.

Username: **EBELAIR**

Transaction ID: **1299091**

Document: **Groundwater Discharge Monitoring Report Forms**

Size of File: **1614.85K**

Status of Transaction: **Submitted**

Date and Time Created: **8/24/2021:11:07:29 AM**

Note: This file only includes forms that were part of your transaction as of the date and time indicated above. If you need a more current copy of your transaction, return to eDEP and select to "Download a Copy" from the Current Submittals page.



Groundwater Permit
MONITORING WELL DATA REPORT

668
1. Permit Number
[REDACTED]
2. Tax identification Number
2021 QUARTERLY 3
3. Sampling Month & Frequency

A. Facility Information

Important:When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Facility name, address:

SOUTH CAPE VILLAGE

a. Name

672 FALMOUTH ROAD/RTE. 28

b. Street Address

MASHPEE

c. City

MA

d. State

02649

e. Zip Code

2. Contact information:

MYLES OSTROFF

a. Name of Facility Contact Person

6174311097

b. Telephone Number

myles@chartweb.com

c. e-mail address

3. Sampling information:

7/6/2021

a. Date Sampled (mm/dd/yyyy)

RI ANALYTICAL

b. Laboratory Name

NICOLE SKYLESON

c. Analysis Performed By (Name)

B. Form Selection

1. Please select Form Type and Sampling Month & Frequency

Monitoring Well Data Report - 2021 Quarterly 3

All forms for submittal have been completed.

2. This is the last selection.

3. Delete the selected form.



Groundwater Permit
 MONITORING WELL DATA REPORT

668
1. Permit Number
[REDACTED]
2. Tax identification Number
2021 QUARTERLY 3
3. Sampling Month & Frequency

C. Contaminant Analysis Information

- For "0", below detection limit, less than (<) value, or not detected, enter "ND"
- TNTC = too numerous to count. (Fecal results only)
- NS = Not Sampled
- DRY = Not enough water in well to sample.

<

Parameter/Contaminant	P-1	P-2	P-4	P-6	Well #: 5	Well #: 6
	Units	Well #: 1	Well #: 2	Well #: 3		
NITRATE-N MG/L	1.5	DRY	1.6	2.8		
TOTAL NITROGEN(NO3+NO2+TK) MG/L	2.7	DRY	11.1	2.8		
TOTAL PHOSPHORUS AS P MG/L	0.19	DRY	2.9	2.2		
ORTHO PHOSPHATE MG/L	ND	DRY	1.9	2.1		



Groundwater Permit

DISCHARGE MONITORING REPORT

668
1. Permit Number
[REDACTED]
2. Tax identification Number
2021 JUL MONTHLY
3. Sampling Month & Frequency

A. Facility Information

Important:When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Facility name, address:

SOUTH CAPE VILLAGE

a. Name

672 FALMOUTH ROAD/RTE. 28

b. Street Address

MASHPEE

c. City

MA

d. State

02649

e. Zip Code

2. Contact information:

MYLES OSTROFF

a. Name of Facility Contact Person

6174311097

b. Telephone Number

myles@chartweb.com

c. e-mail address

3. Sampling information:

7/19/2021

a. Date Sampled (mm/dd/yyyy)

RI ANALYTICAL

b. Laboratory Name

NICOLE SKYLESON

c. Analysis Performed By (Name)

B. Form Selection

1. Please select Form Type and Sampling Month & Frequency

Discharge Monitoring Report - 2021 Jul Monthly

All forms for submittal have been completed.

2. This is the last selection.

3. Delete the selected form.



Groundwater Permit
 DISCHARGE MONITORING REPORT

668
1. Permit Number
[REDACTED]
2. Tax identification Number
2021 JUL MONTHLY
3. Sampling Month & Frequency

D. Contaminant Analysis Information

- For "0", below detection limit, less than (<) value, or not detected, enter "ND"
- TNTC = too numerous to count. (Fecal results only)
- NS = Not Sampled

1. Parameter/Contaminant	2. Influent	3. Effluent	4. Effluent Method Detection limit
Units			
BOD	190	7.5	3.0
MG/L			
TSS	210	20	2.0
MG/L			
TOTAL SOLIDS	610		
MG/L			
AMMONIA-N	41		
MG/L			
NITRATE-N		0.99	0.050
MG/L			
TOTAL NITROGEN(NO3+NO2+TKN)		5.8	0.50
MG/L			
OIL & GREASE		0.60	0.50
MG/L			



Groundwater Permit

DISCHARGE MONITORING REPORT

668
1. Permit Number
[REDACTED]
2. Tax identification Number
2021 QUARTERLY 3
3. Sampling Month & Frequency

A. Facility Information

Important:When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Facility name, address:

SOUTH CAPE VILLAGE

a. Name

672 FALMOUTH ROAD/RTE. 28

b. Street Address

MASHPEE

c. City

MA

d. State

02649

e. Zip Code

2. Contact information:

MYLES OSTROFF

a. Name of Facility Contact Person

6174311097

b. Telephone Number

myles@chartweb.com

c. e-mail address

3. Sampling information:

7/19/2021

a. Date Sampled (mm/dd/yyyy)

RI ANALYTICAL

b. Laboratory Name

NICOLE SKYLESON

c. Analysis Performed By (Name)

B. Form Selection

1. Please select Form Type and Sampling Month & Frequency

Discharge Monitoring Report - 2021 Quarterly 3

All forms for submittal have been completed.

2. This is the last selection.

3. Delete the selected form.



Groundwater Permit
DISCHARGE MONITORING REPORT

668
1. Permit Number
[REDACTED]
2. Tax identification Number
2021 QUARTERLY 3
3. Sampling Month & Frequency

D. Contaminant Analysis Information

- For "0", below detection limit, less than (<) value, or not detected, enter "ND"
- TNTC = too numerous to count. (Fecal results only)
- NS = Not Sampled

1. Parameter/Contaminant	2. Influent	3. Effluent	4. Effluent Method Detection limit
Units			
TOTAL PHOSPHORUS AS P		6.3	0.010
MG/L			
ORTHO PHOSPHATE		6.5	0.020
MG/L			



Groundwater Permit

DAILY LOG SHEET

668
1. Permit Number
[REDACTED]
2. Tax identification Number
2021 JUL DAILY
3. Sampling Month & Frequency

A. Facility Information

Important:When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Facility name, address:

SOUTH CAPE VILLAGE

a. Name

672 FALMOUTH ROAD/RTE. 28

b. Street Address

MASHPEE

c. City

MA

d. State

02649

e. Zip Code

2. Contact information:

MYLES OSTROFF

a. Name of Facility Contact Person

6174311097

b. Telephone Number

myles@chartweb.com

c. e-mail address

3. Sampling information:

7/31/2021

a. Date Sampled (mm/dd/yyyy)

WHITEWATER

b. Laboratory Name

JAIME STEWART

c. Analysis Performed By (Name)

B. Form Selection

1. Please select Form Type and Sampling Month & Frequency

Daily Log Sheet - 2021 Jul Daily

All forms for submittal have been completed.

2. This is the last selection.

3. Delete the selected form.



Groundwater Permit
DAILY LOG SHEET

668
1. Permit Number
[REDACTED]
2. Tax identification Number
2021 JUL DAILY
3. Sampling Month & Frequency

C. Daily Readings/Analysis Information

Date	Effluent Flow GPD	Reuse Flow GPD	Irrigation Flow GPD	Turbidity	Influent pH	Effluent pH	Chlorine Residual (mg/l)	UV Intensity (%)
1	670					6.9		
2	13378					6.7		
3	13378							
4	13378							
5	13378							
6	11402					6.7		
7	11284					6.8		
8	7529					7.2		
9	10067					7.1		
10	10067							
11	10067							
12	11310					6.9		
13	11218					7.2		
14	11333					7.3		
15	10950					7.2		
16	12318					7.2		
17	12317							
18	12318							
19	12317					7.1		
20	15909					7.4		
21	12320					7.5		
22	2843					7.4		
23	12067					7.6		
24	12067							
25	12067							
26	13987					7.3		
27	12019					8.1		
28	7787					7.8		
29	15062					7.4		
30	10148					7.3		
31	10148							



Groundwater Permit

MONITORING WELL DATA REPORT

668
1. Permit Number
[REDACTED]
2. Tax identification Number
2021 JUL MONTHLY
3. Sampling Month & Frequency

A. Facility Information

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



1. Facility name, address:

SOUTH CAPE VILLAGE

a. Name

672 FALMOUTH ROAD/RTE. 28

b. Street Address

MASHPEE

c. City

MA

d. State

02649

e. Zip Code

2. Contact information:

MYLES OSTROFF

a. Name of Facility Contact Person

6174311097

b. Telephone Number

myles@chartweb.com

c. e-mail address

3. Sampling information:

7/1/2021

a. Date Sampled (mm/dd/yyyy)

WHITEWATER

b. Laboratory Name

JAIME STEWART

c. Analysis Performed By (Name)

B. Form Selection

1. Please select Form Type and Sampling Month & Frequency

Monitoring Well Data Report - 2021 Jul Monthly

All forms for submittal have been completed.

2. This is the last selection.

3. Delete the selected form.



Groundwater Permit
 MONITORING WELL DATA REPORT

668
1. Permit Number
[REDACTED]
2. Tax identification Number
2021 JUL MONTHLY
3. Sampling Month & Frequency

C. Contaminant Analysis Information

- For "0", below detection limit, less than (<) value, or not detected, enter "ND"
- TNTC = too numerous to count. (Fecal results only)
- NS = Not Sampled
- DRY = Not enough water in well to sample.

<

Parameter/Contaminant	P-1	P-2	P-4	P-6		
Units	Well #: 1	Well #: 2	Well #: 3	Well #: 4	Well #: 5	Well #: 6
PH	5.8	DRY	6.2	6.1		
S.U.						
STATIC WATER LEVEL	19.1	DRY	47.2	50.9		
FEET						
SPECIFIC CONDUCTANCE	1212	DRY	477	730		
UMHOS/C						



Groundwater Permit

668

1. Permit Number

2. Tax identification Number

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Any person signing a document under 314 CMR 5.14(1) or (2) shall make the following certification

If you are filing electronic-ally and want to attach additional comments, select the check box.



Facility Information

SOUTH CAPE VILLAGE

a. Name

672 FALMOUTH ROAD/RTE. 28

b. Street Address

MASHPEE

c. City

MA

d. State

02649

e. Zip Code

Certification

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

ELIZABETH BELAIR

a. Signature

8/24/2021

b. Date (mm/dd/yyyy)

Reporting Package Comments

PLANT MET ALL DISCHARGE PERMIT REQUIREMENTS FOR JULY 2021. PUMPED 24,000 FOR PRETREAT TANK MAINTENANCE.